

**Cultural Heritage Evaluation Report  
and Heritage Impact Assessment**  
**Proposed Aggregate Pit – 699 Paris Plains Church Road and  
304 Pinehurst Road**  
**Part of Lots 26, 27, 28, 29, Concession 4 and**  
**Part of Lot I West of Grand River, Concession 4**  
**Former Geographic Township of South Dumfries**  
**Brant County, Ontario**

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Project No: 2022-338

Report Dated: November 28, 2023



## EXECUTIVE SUMMARY

Miller Aggregates has engaged TMHC Inc. (TMHC) to produce a Cultural Heritage Evaluation Report (CHER) and a Heritage Impact Assessment (HIA) for the property at 699 Paris Plains Church Road and 304 Pinehurst Road in Brant County, Ontario (the "Subject Property"), the site of a proposed new aggregate pit. The Subject Property comprises part of Lot 1, West of Grand River, Concession 4, and part of Lots 26, 27, 28, and 29, Concession 4, in the Former Geographic Township of South Dumfries, Brant County. This report also considers adjacent properties which may experience impacts to potential heritage attributes deriving from the creation of the aggregate pit. The Subject Property is owned by the proponent.

This CHER/HIA was triggered through the license application approval process under the Aggregate Resources Act (the "Act"). As laid out by Regulation 244/97, the production of technical reports, including a cultural heritage screening checklist, has been completed for the Subject Property based on the Ministry of Citizenship and Multiculturalism's *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes*. In addition, this CHER/HIA fulfills the Aggregates Resources Act requirement for further study by:

1. Completing a Cultural Heritage Screening of the Subject Property based on the Ministry of Citizenship and Multiculturalism's (MCM) *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes*;
2. Completing a Cultural Heritage Evaluation against the criteria set out by the Ontario Heritage Act (OHA)'s O.Reg. 9/06 of the Subject Property and adjacent properties identified as having potential by the cultural heritage screening; and
3. Completing a Heritage Impact Assessment (HIA) of the Subject Property and adjacent three (3) properties identified as having cultural heritage value or interest (CHVI) in the Cultural Heritage Evaluation. The HIA follows the general format set out in the MCM's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the *Ontario Heritage Toolkit*.

The CHER was completed first and provided a heritage evaluation of the 699 Paris Plains Church Road portion of the Subject Property against the criteria set out by the Ontario Heritage Act (OHA)'s O.Reg. 9/06 (as amended by O. Reg. 569/22). As the properties at 705 Paris Plains Church Road (Paris Plains Church and Paris Plains Church Cemetery) and 709 Paris Plains Church Road (Maus School) are designated under Part IV of the OHA, a Condition Assessment and a Conservation Plan were approved as part of a subsequent HIA. This report was combined with the CHER to form this CHER/HIA. TMHC engaged Tacoma Engineers Inc. (Tacoma) to provide a professional assessment and recommendations (Appendix C). Further updates to the CHER/HIA include a heritage evaluation of the property at 304 Pinehurst Road which now forms the western portion of the Subject Property.

In addition, Aercoustics Engineering Limited (Aercoustics) was retained by Miller Aggregates to assess the potential vibration impact on the nearby structures resulting from the proposed construction and operation of the pit (Appendix D). It was determined that the vibration zone of influence for equipment associated with the pit will not extend to the Paris Plains Church, the Maus School House, or any other sensitive receptor.

This CHER/HIA is intended to provide a heritage evaluation of the Subject Property against the criteria set out by the Ontario Heritage Act (OHA)'s O.Reg. 9/06 (as amended by O. Reg. 569/22), an assessment of the proposed development's impact on identified heritage attributes, and strategies for mitigating that impact.



The HIA portion of this report follows the general format set out in the MCM's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the Ontario Heritage Toolkit.

The County of Brant adopted an Official Plan in 2010, which was approved in 2012. While the County is currently in the process of developing a new Official Plan, the 2012 Official Plan remains in force. One of the purposes of the Official Plan is to "Provide policies that will protect and enhance the County's various resources, including agriculture, aggregate, natural heritage, and built heritage, and cultural heritage landscapes (1.9.f)." <sup>1</sup>

Under Section 2.7.6.1 of the Official Plan:

Significant built heritage resources and cultural heritage shall be conserved by the County. In partnership with Federal and Provincial governments and with property owners, the County shall continue to identify built heritage resources and cultural heritage landscapes, and ensure that such resources are protected from development and site alteration, and where possible, enhanced.<sup>2</sup>

There are no National Historic Sites, Ontario Heritage Trust-owned properties, conservation easements, or Provincial Heritage Properties present on the Subject Property as verified by the Ontario Heritage Trust and the Ministry of Citizenship and Multiculturalism (MCM). Based on the research and analysis summarized in this report, the Subject Property's eastern and central parcels were found not to meet the O.Reg. 9/06 Criteria (as amended by O. Reg. 569/22). However, the western parcel, comprising the property at 304 Pinehurst Road, was found to meet the O.Reg. 9/06 criteria (as amended by O. Reg. 569/22). It is acknowledged that archaeological sites have been discovered on the property and are being mitigated by the proponent under a separate archaeological process, also undertaken by TMHC.

The HIA will help to inform forthcoming decisions related to access, staging, and/or other anticipated construction or operations activities that could affect these designated, listed, and identified heritage properties.

To ensure there are no impacts to the structures located at 304 Pinehurst Road and 705 and 709 Paris Plains Church Road as a result of aggregate extraction and the operation of the pit, TMHC recommends the following mitigation be implemented on the Aggregate Resources Act Site Plan:

- 304 Pinehurst Road
  - a. A 30 m setback shall be implemented from the house and the barn to the internal haul route and entrance/exit onto Pinehurst Road to mitigate potential direct and indirect impacts caused by the vibration of heavy truck traffic and activities associated with an active aggregate site; and
  - b. A row of evergreen trees shall be planted to fill in the existing hedgerow located about 30 m north of the house and barn. These plantings will provide a sound buffer and visual screening of the access road.
- 705 and 709 Paris Plains Church Road
  - a. Locate the internal haul route from the Pinehurst Road exit/entrance to the processing plant on the east side of Pinehurst Road, north of the property at 304 Pinehurst Road. This location

<sup>1</sup> Brant County 2012

<sup>2</sup> Brant County 2012



Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

will negate any potential impacts to the identified structures, including unintended movement and damage to the buildings, and cumulative damage caused by the vibration of heavy traffic;

- b. Prior to site stripping and berm construction, erosion and sediment control fencing shall be installed along the north property boundary of 705 and 709 Paris Plains Church Road, on the south side of the berm, and shall be removed once the berm is constructed and self-sustaining vegetation has been established;
- c. Ground and surface water monitoring shall occur as recommended in Maximum Predicted Water Table Report (*MTE, November 2023*); and
- d. The elective vibration monitoring recommended and illustrated in the Vibration Assessment (*Aercoustics, November 2023*) shall be implemented during berm construction.



## TABLE OF CONTENTS

|   |             |
|---|-------------|
| <b>Executive Summary .....</b>  | <b>i</b>    |
| <b>List of Images .....</b>   | <b>vi</b>   |
| <b>List of Maps .....</b>   | <b>vii</b>  |
| <b>List of Tables .....</b>   | <b>vii</b>  |
| <b>Project Personnel .....</b>  | <b>viii</b> |
| <b>Acknowledgements .....</b>   | <b>viii</b> |
| <b>List of Acronyms .....</b>   | <b>viii</b> |
| <b>Territorial Acknowledgement .....</b>  | <b>ix</b>   |
| <b>About TMHC .....</b>   | <b>x</b>    |
| <b>Key Staff Bios .....</b>   | <b>x</b>    |
| <b>Statement of Qualifications and Limitations .....</b>                                  | <b>xiii</b> |
| <b>Quality Information .....</b>  | <b>xiv</b>  |
| <b>1 Introduction .....</b>   | <b>I</b>    |
| 1.1 Report Scope and Purpose.....   | 1           |
| 1.2 Methodology.....  | 2           |
| 1.3 Client Contact Information.....   | 3           |
| <b>2 Site Description.....</b>  | <b>4</b>    |
| 2.1 Location and Physical Description.....  | 4           |
| 2.2 Heritage Status.....  | 4           |
| <b>3 Historical Research &amp; Analysis .....</b>   | <b>7</b>    |
| 3.1 Historic Context: Indigenous Settlement and Treaties .....                            | 7           |
| 3.2 Historic Context: Early Municipal Settlement .....                                    | 9           |
| 3.2.1 19 <sup>th</sup> Century and Municipal Settlement .....                             | 9           |
| 3.2.2 Brant County .....  | 9           |
| 3.2.3 South Dumfries Township.....  | 11          |
| 3.2.4 Paris .....   | 11          |
| 3.3 Local Property History.....   | 12          |
| 3.3.1 Part of Lots 26 and 27, Concession 4, Township of South Dumfries .....              | 13          |
| 3.3.2 Part of Lots 28 and 29, Concession 4, Township of South Dumfries .....              | 14          |
| 3.3.3 Lot 1 West of Grand River, Concession 4, Township of South Dumfries .....           | 14          |
| 3.4 History of the Subject Property.....  | 14          |
| 3.4.1 Part of Lots 26 and 27, Concession 4, Township of South Dumfries .....              | 15          |
| 3.4.2 Part of Lots 28 and 29, Concession 4, Township of South Dumfries .....              | 15          |
| 3.4.3 Lot 1 West of Grand River, Concession 4, Township of South Dumfries .....           | 16          |
| 3.5 Adjacent Properties to the Subject Property .....                                     | 17          |
| <b>4 Existing Conditions .....</b>  | <b>24</b>   |
| 4.1 Central Portion of Subject Property - Location of Former House and Barn.....          | 24          |
| 4.2 Eastern Portion of Subject Property – Wetland .....                                   | 26          |
| 4.3 Western Portion of Subject Property – 304 Pinehurst Road .....                        | 28          |
| 4.4 Adjacent Properties to the Subject Property .....                                     | 31          |
| 4.4.1 684 Paris Plains Church Road.....   | 31          |
| 4.4.2 705 Paris Plains Church Road - Paris Plains Church & the Paris Plains Cemetery..... | 33          |



**Cultural Heritage Evaluation Report & Heritage Impact Assessment**  
**Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON**

|  |  |            |
|--|--|------------|
| 4.3.3  | 709 Paris Plains Church Road - Maus School.....  | 36         |
| 4.3.4  | 724 Paris Plains Church Road.....  | 38         |
| 4.4.3  | 325 West River Road .....  | 40         |
| 4.5  | Contextual Properties.....   | 44         |
| 4.5.1  | 250 West River Road .....  | 44         |
| 4.5.2  | 273 West River Road .....  | 45         |
| 4.5.3  | 286 West River Road .....  | 46         |
| 4.5.4  | 283 Pinehurst Road.....  | 48         |
| 4.5.5  | 289 Pinehurst Road - Maus Haus.....  | 49         |
| 4.5.6  | 301 Pinehurst Road.....  | 51         |
| 4.5.7  | 317 Pinehurst Road.....  | 52         |
| 4.5.8  | 321 Pinehurst Road.....  | 54         |
| <b>5</b>   | <b>Policy Context.....</b>   | <b>56</b>  |
| 5.1  | The Brant Count Official Plan .....  | 56         |
| 5.2  | Planning Act .....   | 56         |
| 5.3  | Provincial Policy Statement 2020 (PPS 2020).....   | 56         |
| 5.4  | Aggregate Resources Act .....  | 57         |
| 5.5  | Ontario Heritage Act (OHA 2005).....   | 58         |
| 5.6  | Standards and Guidelines for the Conservation of Historic Places in Canada (2010) .....                    | 59         |
| <b>6</b>   | <b>Evaluation Against O.Reg. 9/06 Criteria .....</b>   | <b>60</b>  |
| <b>7</b>   | <b>Statement of Cultural Heritage Value .....</b>  | <b>64</b>  |
| 7.1  | Heritage Attributes .....  | 64         |
| <b>8</b>   | <b>Description of Proposed Development .....</b>   | <b>65</b>  |
| <b>9</b>   | <b>Impact Assessment.....</b>  | <b>69</b>  |
| <b>10</b>  | <b>Considered Mitigation Strategies .....</b>  | <b>71</b>  |
| 10.1   | Mitigation Strategies for Potential Impacts.....   | 71         |
| 10.1.1   | Operation and Access Route Mitigations for 304 Pinehurst Road .....  | 71         |
| 10.1.2   | Pit Construction, Operation and Access Route(s) Mitigations for 705 and 709 Paris Plains Church Road ..... | 71         |
| <b>11</b>  | <b>Conclusion .....</b>  | <b>73</b>  |
| <b>12</b>  | <b>Bibliography.....</b>   | <b>75</b>  |
| <b>Appendix A: Screening Checklist .....</b>   | <b>80</b>  |            |
| <b>Appendix B: Inventory of Existing Conditions .....</b>                            | <b>89</b>  |            |
|  | <b>684 Paris Plains Church Road (PAR-01) .....</b>   | <b>90</b>  |
|  | <b>705 Paris Plains Church Road – Cemetery (PAR-02) .....</b>  | <b>94</b>  |
|  | <b>709 Paris Plains Church Road – Paris Plains Church (PAR-03) .....</b>                                   | <b>107</b> |
|  | <b>709 Paris Plains Church Road – Maus School, S.S. No. 11 (PAR-04) .....</b>                              | <b>115</b> |
|  | <b>724 Paris Plains Church Road (PAR-05) .....</b>   | <b>123</b> |
|  | <b>325 West River Road (WER-01) .....</b>  | <b>128</b> |
| <b>Appendix C: Condition Assessment 705 &amp; 709 Paris Plains Church Road .....</b> | <b>132</b>   |            |
| <b>Appendix D: Zone of Influence Study &amp; Vibration Monitoring Plan .....</b>     | <b>153</b>   |            |

## LIST OF IMAGES

|       |  |    |
|-------|--|----|
| Image | 1: Orin Maus' Lots, 1859 .....                                       | 16 |
| Image | 2: Maus School .....   | 18 |
| Image | 3: Paris Plains Church .....   | 18 |
| Image | 4: Paris Plains Church Commemoration .....                           | 19 |
| Image | 5: View of Paris Plains Cemetery – c.1978 .....                      | 19 |
| Image | 6: Laneway from Paris Plains Church Road .....                       | 25 |
| Image | 7: Laneway Approximate to Former House .....                         | 25 |
| Image | 8: View of Subject Property East of Laneway .....                    | 25 |
| Image | 9: View of Subject Property West of Laneway .....                    | 25 |
| Image | 10: Bricked Well Interior East of Former Barn Location .....         | 25 |
| Image | 11: Kettle Bog from Paris Plains Church Road .....                   | 27 |
| Image | 12: South Tree Line of Kettle Bog from South Part of Field .....     | 27 |
| Image | 13: Dip in Elevation Near West End of Kettle Bog .....               | 27 |
| Image | 14: Irregular Bowl Shape Dipping Toward Centre of Kettle Bog .....   | 27 |
| Image | 15: Kettle Bog at Low Point Near Water's Edge .....                  | 27 |
| Image | 16: West Elevation of House .....                                    | 29 |
| Image | 17: Southwest Elevation of House .....                               | 29 |
| Image | 18: North and East Elevation of House .....                          | 29 |
| Image | 19: Stone of South Foundation Wall of House .....                    | 29 |
| Image | 20: Brick and Stone of South Foundation Wall .....                   | 29 |
| Image | 21: Top-Cut Round Log Joists of House .....                          | 29 |
| Image | 22: Barn, Shed, and Laneway at 304 Pinehurst Road .....              | 30 |
| Image | 23: West Fieldstone Foundation Wall of Barn .....                    | 30 |
| Image | 24: South Elevation of Barn .....                                    | 30 |
| Image | 25: East Elevation of Barn .....                                     | 30 |
| Image | 26: Woodwork of Lower Level of Barn .....                            | 30 |
| Image | 27: Interior of Barn from North Entrance .....                       | 30 |
| Image | 28: 684 Paris Plains Church Road with House and Shed .....           | 32 |
| Image | 29: House Located at 684 Paris Plains Church Road .....              | 32 |
| Image | 30: Paris Plains Cemetery .....                                      | 34 |
| Image | 31: Paris Plains Church .....  | 34 |
| Image | 32: Fieldstone Courses and Quoins of Church .....                    | 34 |
| Image | 33: Close up of Varied Fieldstones .....                             | 34 |
| Image | 34: Paris Plains Church Exterior Masonry .....                       | 34 |
| Image | 35: Paris Plains Church Chapel Interior .....                        | 34 |
| Image | 36: Paris Plains Church Exterior Masonry- Showing Crack .....        | 35 |
| Image | 37: Maus School .....  | 37 |
| Image | 38: Maus School, Exterior Brick Masonry .....                        | 37 |
| Image | 39: Maus School, Localized Mortar Damage on North Elevation .....    | 37 |
| Image | 40: Maus School, Ground Floor Interior .....                         | 37 |
| Image | 41: Maus School, Basement Conditions .....                           | 37 |
| Image | 42: 724 Paris Plains Church Road with House and Shed .....           | 38 |
| Image | 43: Barn, Silos, and Elevators at 724 Paris Plains Church Road ..... | 39 |



|   |    |
|---|----|
| Image 44: Barn and Silos, and Field at 724 Paris Plains Church Road .....               | 39 |
| Image 45: Residence and Laneway at 325 West River Road .....                            | 40 |
| Image 46: East Elevation of Residence at 325 West River Road .....                      | 41 |
| Image 47: Northeast Corner of Residence at 325 West River Road.....                     | 41 |
| Image 48: Silos and Quonset Hut of Laneway at 325 West River Road .....                 | 42 |
| Image 49: Northwest Corner of Stone Barn (Centre) .....                                 | 44 |
| Image 50: East Elevation of Gothic Revival Style Residence at 273 West River Road ..... | 45 |
| Image 51: West Elevation of Georgian Style Stone Residence at 286 West River Road ..... | 46 |
| Image 52: Barn and Silo at 286 West River Road .....                                    | 47 |
| Image 53: 283 Pinehurst Road - East Elevation, Gothic Revival Style Farmhouse .....     | 48 |
| Image 54: East Elevation of Georgian Style Stone Maus Haus – 289 Pinehurst Road.....    | 49 |
| Image 55: East Elevation of Side Gable Shed – 289 Pinehurst Road .....                  | 50 |
| Image 56: East Elevation of 301 Pinehurst Road with a Recessed Detached Garage .....    | 51 |
| Image 57: East Elevation of Gothic Revival Style Residence Clad in Stucco .....         | 52 |
| Image 58: Southeast Corner of Rubble Stone Barn.....                                    | 53 |
| Image 59: East Elevation of Decorative Concrete Block Residence .....                   | 54 |

## LIST OF MAPS

|  |    |
|--|----|
| Map 1: Location of Subject Property .....  | 6  |
| Map 2: Treaty Territory of the Mississaugas of the Credit First Nation.....                      | 7  |
| Map 3: Extent of the Haldimand Tract's Original Area and Current Six Nations Reserve .....       | 8  |
| Map 4: 1859-1940 Maps of the Subject Property .....  | 20 |
| Map 5: 1954-1976 Maps of the Subject Property .....  | 21 |
| Map 6: 1859-1940 Maps of the Church, Cemetery and School .....                                   | 22 |
| Map 7: 1954-1976 Maps of the Church, Cemetery and School .....                                   | 23 |
| Map 8: Location of Adjacent Properties .....   | 43 |
| Map 9: Location of Contextual Properties.....  | 55 |
| Map 10: Operational Phases of the Proposed Aggregate Pit on the Subject Property .....           | 66 |
| Map 11: Proposed Access Road from Pinehurst Road onto Subject Property .....                     | 67 |
| Map 12: Subject Property at 699 Paris Plains Church Road and 304 Pinehurst Road, Brant, ON ..... | 68 |

## LIST OF TABLES

|  |     |
|--|-----|
| Table 1: 699 Paris Plains Church Road O.Reg. 9/06 Evaluation.....                                | 60  |
| Table 2: 304 Pinehurst Road O.Reg. 9/06 Evaluation.....  | 62  |
| Table 3: 699 Paris Plains Road and 304 Pinehurst Road Impact Assessment .....                    | 70  |
| Table 4: 684 Paris Plains Church Road O.Reg. 9/06 Evaluation (as amended by O.Reg. 569/22) ..... | 91  |
| Table 5: 705 Paris Plains Church Road O.Reg. 9/06 Evaluation (as amended by O.Reg. 569/22) ..... | 95  |
| Table 6: 709 Paris Plains Church Road O.Reg. 9/06 Evaluation (as amended by O.Reg. 569/22) ..... | 109 |
| Table 7: 709 Paris Plains Church Road O.Reg. 9/06 Evaluation (as amended by O.Reg. 569/22) ..... | 117 |
| Table 8: 724 Paris Plains Church Road O.Reg. 9/06 Evaluation (as amended by O.Reg. 569/22) ..... | 124 |
| Table 9: 325 West River Road Road O.Reg. 9/06 Evaluation (as amended by O.Reg. 569/22).....      | 129 |



## PROJECT PERSONNEL

|                               |  |
|-------------------------------|--|
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| Miller Aggregates                            | Ken Zimmerman<br>Megan Smythe |
| Ministry of Citizenship and Multiculturalism | Karla Barboza                 |
| Ontario Heritage Trust                       | Kevin Baksh                   |
| County of Brant                              | Brandon Kortleve              |

## LIST OF ACRONYMS

|      |  |
|------|--|
| CHER | Cultural Heritage Evaluation Report          |
| CHVI | Cultural Heritage Value or Interest          |
| HIA  | Heritage Impact Assessment                   |
| MCM  | Ministry of Citizenship and Multiculturalism |
| OHA  | <i>Ontario Heritage Act</i>                  |
| OHT  | Ontario Heritage Trust                       |



## TERRITORIAL ACKNOWLEDGEMENT

The Subject Property is located on the traditional lands of the Mississauga and Haudenosaunee (Ho-den-no-show-nee) peoples, on lands connected with the Between the Lakes Treaty (Treaty 3) with the Mississaugas of the Credit First Nation (MCFN) and the Crown Grant to the Six Nations also known as the Haldimand Tract. This land continues to be home to diverse Indigenous peoples (e.g., First Nations and Métis) who are contemporary stewards of the land.



## ABOUT TMHC

Established in 2003 with a head office in London, Ontario, TMHC Inc. (TMHC) provides a broad range of archaeological assessment, heritage planning and interpretation, cemetery, and community consultation services throughout the Province of Ontario. We specialize in providing heritage solutions that suit the past and present for a range of clients and intended audiences, while meeting the demands of the regulatory environment. Over the past two decades, TMHC has grown to become one of the largest privately-owned heritage consulting firms in Ontario and is today the largest predominately woman-owned Cultural Resource Management (CRM) business in Canada.

Since 2004, TMHC has held retainers with Infrastructure Ontario, Hydro One, the Ministry of Transportation, Metrolinx, the City of Hamilton, the City of Barrie, and Niagara Parks Commission. In 2013, TMHC earned the Ontario Archaeological Society's award for Excellence in CRM. Our seasoned expertise and practical approach have allowed us to manage a wide variety of large, complex, and highly sensitive projects to successful completion. Through this work, we have gained corporate experience in helping our clients work through difficult issues to achieve resolution.

TMHC is skilled at meeting established deadlines and budgets, maintaining a healthy and safe work environment, and carrying out quality heritage activities to ensure that all projects are completed diligently and safely. Additionally, we have developed long-standing relationships of trust with Indigenous and descendant communities across Ontario and a good understanding of community interests and concerns in heritage matters, which assists in successful project completion.

TMHC is a Living Wage certified employer with the [Ontario Living Wage Network](#) and a member of the [Canadian Federation for Independent Business](#).

## KEY STAFF BIOS

### **Holly Martelle, PhD – Principal**

Holly Martelle earned a PhD from the University of Toronto based on her research on Iroquoian populations in southern Ontario. In addition to 16 years of experience in the road building and aggregate industries, Dr. Martelle has worked as a Heritage Planner at the now MCM and has taught at several universities throughout the province. In 2003, she founded TMHC with Dr. Peter Timmins and in 2013 the firm was honored with the Ontario Archaeological Society's award for Excellence in Cultural Resource Management.

Holly is an experienced Project Manager and has demonstrated throughout her career the ability to manage complex projects, meeting project deliverables cost effectively and to the highest standard of quality. Under her leadership, TMHC has made a commitment to innovation, creating solutions that meet the project specific goals and also address the long-term needs of our clients.

Holly is a skilled relationship builder with longstanding relationships with the Indigenous communities throughout Ontario, and other Descendant communities and organizations including the Ontario Black History Society. Ongoing and sustained communication with communities has proven an effective means of ensuring participation from Descendant communities in meeting and exceeding consultation requirements. Through her work on several high level and sensitive provincial projects she has developed an understanding



## Cultural Heritage Evaluation Report & Heritage Impact Assessment Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

of what works in the consultation process to ensure that it is effective in providing the client and the project with the information needed to be successful.

Holly is a Past-President of the Ontario Archaeological Society, and is also an active member of the Canadian Archaeological Association, the Society for Historic Archaeology, the Ontario Association for Impact Assessment, and the Council for Northeastern Historical Society.

### **Joshua Dent, PhD, CAHP – Manager – Community Engagement & Heritage Division**

Joshua (Josh) has worked extensively on cultural heritage and archaeological assessments in Ontario and Western Canada. Josh's role at TMHC has involved background research, community consultation, report production, and project management. Josh specializes in multi-faceted heritage studies including large-scale inventories, environmental assessments, and complex institutional assessments. In his role at TMHC, he regularly communicates with Indigenous communities and a variety of heritage stakeholders. These efforts were recently recognized as part of the Oakville Harbour Cultural Heritage Landscape Strategy Implementation which received the Canadian Association of Heritage Professionals' 2021 Award of Merit for Documentation & Planning. He has volunteered extensively with the heritage community in London, Ontario, in both municipal and not-for-profit roles. Josh is professional member of the Canadian Association of Heritage Professionals (CAHP).

### **Joan Crosbie, MA, CAHP – Manager – Cultural Heritage**

Joan has extensive cultural heritage management experience in both the private and public sectors with a strong background in preservation services, built and landscape heritage assessment, archival/historical research, and Museums services. She earned her MA in Architectural History from York University. In her role in Preservation Services with the Toronto Historical Board (City of Toronto), Joan was part of a small team of professionals who advised City Council on a broad range of heritage preservation and planning matters. Later, as Curator of Casa Loma, she gained extensive experience as part of the Senior Management team and honed her skills in cultural and community engagement and was a key staff liaison with the restoration architects and skilled trades as the Casa Loma Estate underwent a major exterior restoration program. More recently, as Manager of Culture and Community Services, Town of Whitchurch-Stouffville, Joan managed the Heritage and Museums services portfolios and has widened her experience in cultural planning to include the adaptive reuse of heritage buildings and historic main street revitalization.

She has published articles on architecture and architectural preservation for a wide range of organizations, including the Canadian Society for Industrial Heritage, the City of Toronto and the Society for the Study of Architecture in Canada. Joan is professional member of the Canadian Association of Heritage Professionals (CAHP).

### **Hayden Bulbrook, MA – Cultural Heritage Specialist**

Hayden holds a BA in History and Political Science from the University of Ottawa and an MA in History from the University of Waterloo. Hayden has extensive experience analyzing archival documents, fire insurance plans, city directories, historic maps and photography, and other primary source material, and specializes in historic, building material, and architectural research. As part of the Cultural Heritage team at TMHC, Hayden is involved in drafting cultural heritage evaluation reports, heritage impact assessments, and other projects.



Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

Prior to coming to TMHC in 2021, Hayden worked on a contract with the City of Ottawa to assess the architectural integrity of the built environment in the Byward Market and Lowertown West heritage conservation districts. With an interest in public engagement, education, and advocacy for heritage conservation, Hayden actively participates as an executive member for the Stratford-Perth branch of the Architectural Conservancy of Ontario. He works on digital history projects that showcase Ontario's architectural history as well as the history of the City of Stratford, with a focus on analyzing the architectural, economic, and environmental history of the city. Hayden actively publishes historical columns in the *Stratford Times* and the Stratford-Perth ACO publication *More Than Bricks & Mortar*. Hayden is a member of the International Committee for the Conservation of Industrial Heritage (TICCIH) and the Canadian Business History Association.



## STATEMENT OF QUALIFICATIONS AND LIMITATIONS

The attached Report (the “Report”) has been prepared by Timmins Martelle Heritage Consultants Inc. (TMHC) for the benefit of the Client (the “Client”) in accordance with the agreement between TMHC and the Client, including the scope of work detailed therein (the “Agreement”).

The information, data, recommendations and conclusions contained in the Report (collectively, the “Information”):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the “Limitations”);
- represents TMHC’s professional judgment in light of the Limitation and industry standards for the preparation of similar reports;
- may be based on information provided to TMHC which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and section thereof should not be read out of such context; and
- was prepared for the specific purposes described in the Report and the Agreement.

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This Statement of Qualifications and Limitations is attached to and forms part of the Report and any use of the Report is subject to the terms hereof.



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## I INTRODUCTION

### I.1 Report Scope and Purpose

Miller Aggregates (Miller) has engaged TMHC Inc. (TMHC) to produce a Cultural Heritage Evaluation Report (CHER) and a Heritage Impact Assessment (HIA) for the property at 699 Paris Plains Church Road and 304 Pinehurst Road, Brant County (the "Subject Property"), the site of a proposed new aggregate pit. The Subject Property comprises part of Lot 1, West of Grand River, Concession 4, and part of Lots 26, 27, 28, and 29, Concession 4, in the Former Geographic Township of South Dumfries, Brant County. This report also considers adjacent properties which may experience impacts to potential heritage attributes deriving from the creation of an aggregate pit. The Subject Property is owned by the proponent.

The CHER was completed first and provided a heritage evaluation of the 699 Paris Plains Church Road portion of the Subject Property against the criteria set out by the *Ontario Heritage Act (OHA)*'s O.Reg. 9/06 (as amended by O. Reg. 569/22). As the properties at 705 Paris Plains Church Road (Paris Plains Church and Paris Plains Church Cemetery) and 709 Paris Plains Church Road (Maus School) are designated under Part IV of the OHA, a Condition Assessment and a Conservation Plan were approved as part of a subsequent HIA which was combined with the CHER to form this CHER/HIA. TMHC engaged Tacoma Engineers Inc. (Tacoma) to provide a professional assessment and recommendations (Appendix C). Further updates to the CHER/HIA include a heritage evaluation of the property at 304 Pinehurst Road which now forms the western portion of the Subject Property.

In addition, Aercoustics Engineering Limited (Aercoustics) was retained by the Miller Group to assess the potential vibration impact on the nearby structures resulting from the proposed construction and operation of the pit (Appendix D). It was determined that the vibration zone of influence for equipment associated with the pit will not extend to the Paris Plains Church, the Maus School, or any other sensitive receptor.

This CHER/HIA was triggered through the license application approval process under the Aggregate Resources Act (the "Act") which manages aggregate operations (pits and quarries) in the province of Ontario and establishes the requirements for license and permit approvals, inspections, enforcement and penalties, and the rehabilitation of aggregate sites.

Under the Aggregate Resources Act, Regulation 244/97 requires the production of technical reports, including a Cultural Heritage Report, as part of an application for a Class A license, Class B license, or aggregate permit. This CHER/HIA fulfills the Aggregate Resources Act requirements for further study by:

1. Completing a Cultural Heritage Screening of the Subject Property based on the Ministry of Citizenship and Multiculturalism's (MCM) Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes;
2. Completing a Cultural Heritage Evaluation against the criteria set out by the *Ontario Heritage Act (OHA)*'s O. Reg. 9/06 (as amended by O. Reg. 569/22) of the Subject Property and adjacent properties identified as having potential by the cultural heritage screening; and
3. Completing a Heritage Impact Assessment (HIA) of the Subject Property and adjacent three (3) properties identified as having cultural heritage value or interest (CHVI), in the Cultural Heritage Evaluation. The HIA follows the general format set out in the MCM's *InfoSheet #5: Heritage Impact*



## Cultural Heritage Evaluation Report & Heritage Impact Assessment Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

*Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the *Ontario Heritage Toolkit*.

The County of Brant adopted an Official Plan in 2010, which was approved in 2012. While the County is currently in the process of developing a new Official Plan, the 2012 Official Plan remains in force.

One of the purposes of the Official Plan is to, “Provide policies that will protect and enhance the County’s various resources, including agriculture, aggregate, natural heritage, and built heritage, and cultural heritage landscapes (1.9.f).”<sup>3</sup>

Under Section 2.7.6.1 of the Official Plan:

Significant built heritage resources and cultural heritage shall be conserved by the County. In partnership with Federal and Provincial governments and with property owners, the County shall continue to identify built heritage resources and cultural heritage landscapes, and ensure that such resources are protected from development and site alteration, and where possible, enhanced.<sup>4</sup>

This CHER/HIA is intended to provide a heritage evaluation of the Subject Property against the criteria set out by the *Ontario Heritage Act (OHA)*’s O.Reg. 9/06 (as amended by O. Reg. 569/22), an assessment of the proposed development’s impact on identified heritage attributes, and strategies for mitigating that impact. The HIA portion of this report follows the general format set out in the MCM’s *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the *Ontario Heritage Toolkit*.

### 1.2 Methodology

This CHER/HIA was prepared in accordance with the Ontario Heritage Toolkit’s guide to Heritage Property Evaluation and the *OHA*’s O.Reg. 9/06 (as amended by O. Reg. 569/22). The HIA portion of this report follows the general format set out in the MCM *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the *Ontario Heritage Toolkit*. The MCM checklist, *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes* has also been included in this report (see Appendix A),

For the purposes of preparing the CHER/HIA, Hayden Bulbrook of TMHC visited the Subject Property on December 6, 2021 and August 2, 2023. For the purposes of preparing the Condition Assessment/Conservation Plan, a site visit was conducted by Tacoma on October 14, 2022 (see Appendix C).

A full list of sources is included in Section 11 of this CHER/HIA.

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<sup>3</sup> Brant County 2012

<sup>4</sup> Brant County 2012



Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

### 1.3 Client Contact Information

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## 2 SITE DESCRIPTION

### 2.1 Location and Physical Description

The Subject Property comprises part of Lot 1, West of Grand River, Concession 4, and part of Lots 26 and 27, 28, and 29, Concession 4, in the Former Geographic Township of South Dumfries, Brant County. The nearest community is Paris, located approximately 6 km south. The current entrance to the Subject Property is located on the north side of Paris Plains Church Road between Pinehurst Road and West River Road. The Subject Property can be divided up into eastern, central, and western areas.

The eastern portion of the Subject Property is composed primarily of agricultural land with a laneway and intermittent tree line that divides this part of the property east-west along Lot 26 and Lot 27. A swampy valley with an enclosed kettle pond is located at the far eastern end of the property, approximately 1.1 km from the laneway. A house, barn, and shed were located at the north end of the Subject Property to the east of the tree line on what was the western edge of Lot 26 but all were demolished between 2014 and 2016.

The Maus School, the Paris Plains Cemetery, and the Paris Plains Church (West Dumfries Chapel)<sup>5</sup> – all of which are designated under Part IV of the *OHA* – are located adjacent to the southwest corner of the central portion of the Subject Property and front Paris Plains Church Road. The property is also adjacent to 325 West River Road, located to the north and east, which is noted on Brant County's working inventory of properties.

Pinehurst Road forms the western boundary of the Subject Property. An internal haul route, extending in an east-west direction from Pinehurst Road to the eastern portions of the Subject Property has been proposed. The route will run along the northern boundary of the property at 304 Pinehurst Road which composes the western portion of the Subject Property and contains a farmhouse, bank barn, and agricultural fields.

### 2.2 Heritage Status

Neither 699 Paris Plains Church Road nor 304 Pinehurst Road, are listed on the Brant Heritage Inventory, which was last updated in 2006. These properties are not designated under Part IV or Part V of the *OHA*. The Subject Property is adjacent to 705 and 709 Paris Plains Church Road which contains three cultural heritage resources designated under Part IV of the *OHA*:

- Maus School, c. 1847;
- Paris Plains Cemetery, c. 1813; and
- Paris Plains Church (West Dumfries Chapel), c. 1845.

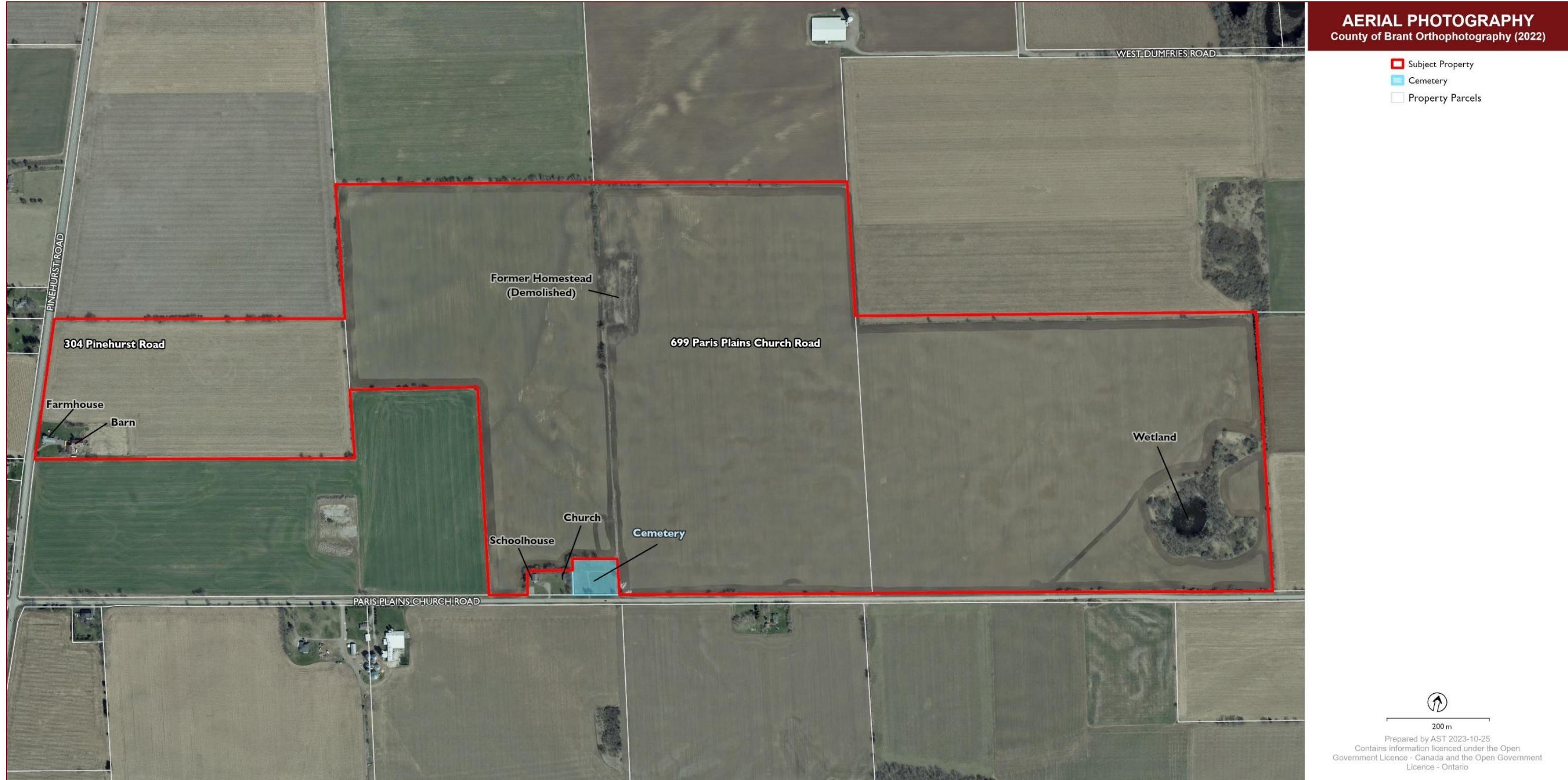
The property is also adjacent to 325 West River Road which is noted on Brant County's working inventory of properties. In correspondence with planners, Brant County also noted the heritage interests of nearby Part IV designated property at 289 Pinehurst Road (Kelly Farm/Maus Haus) and another property on their working inventory, 283 Pinehurst Road.

<sup>5</sup> Referred to throughout this report as Paris Plains Church.



Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

There are no National Historic Sites, Ontario Heritage Trust-owned properties, conservation easements, or Provincial Heritage Properties present on the Subject Property as verified by the Ontario Heritage Trust (OHT) and the Ministry of Citizenship and Multiculturalism (MCM).



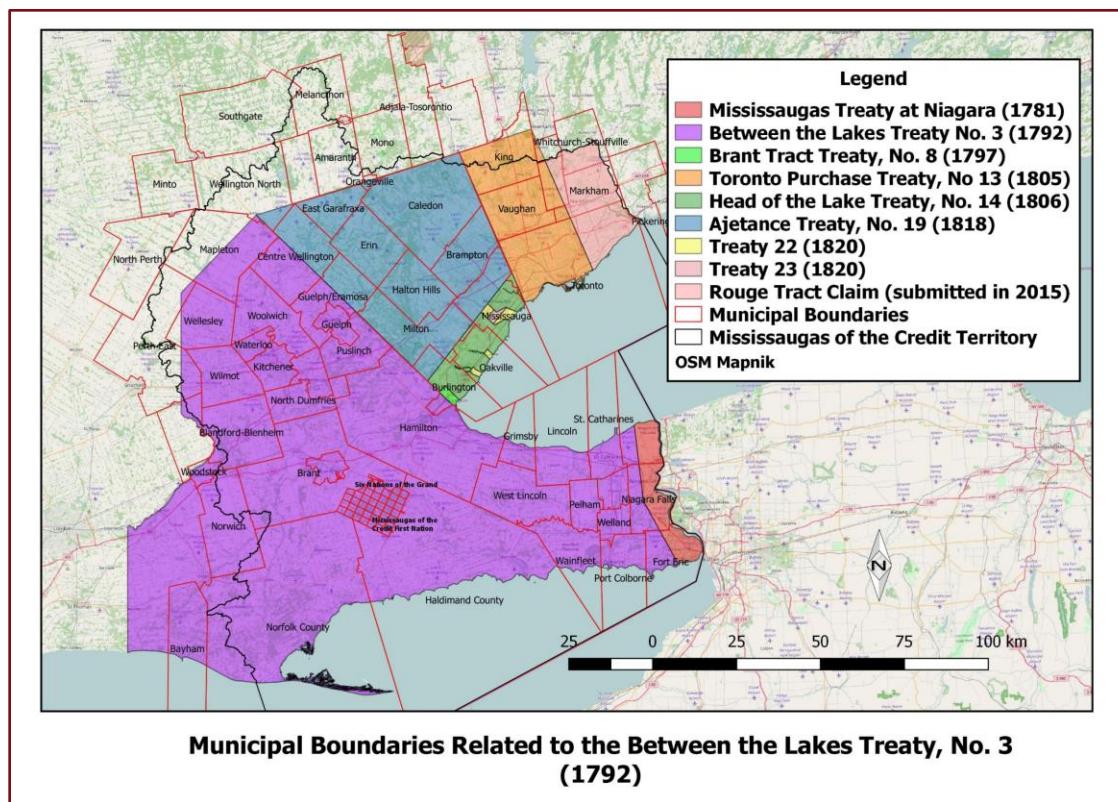
**Map I: Location of Subject Property**

## 3 HISTORICAL RESEARCH & ANALYSIS

This section includes a historical overview for the Subject Property and its environs. The Subject Property was once part of the Township of South Dumfries, Brant County; the early historical context discussion refers to this previous jurisdiction.

### 3.1 Historic Context: Indigenous Settlement and Treaties

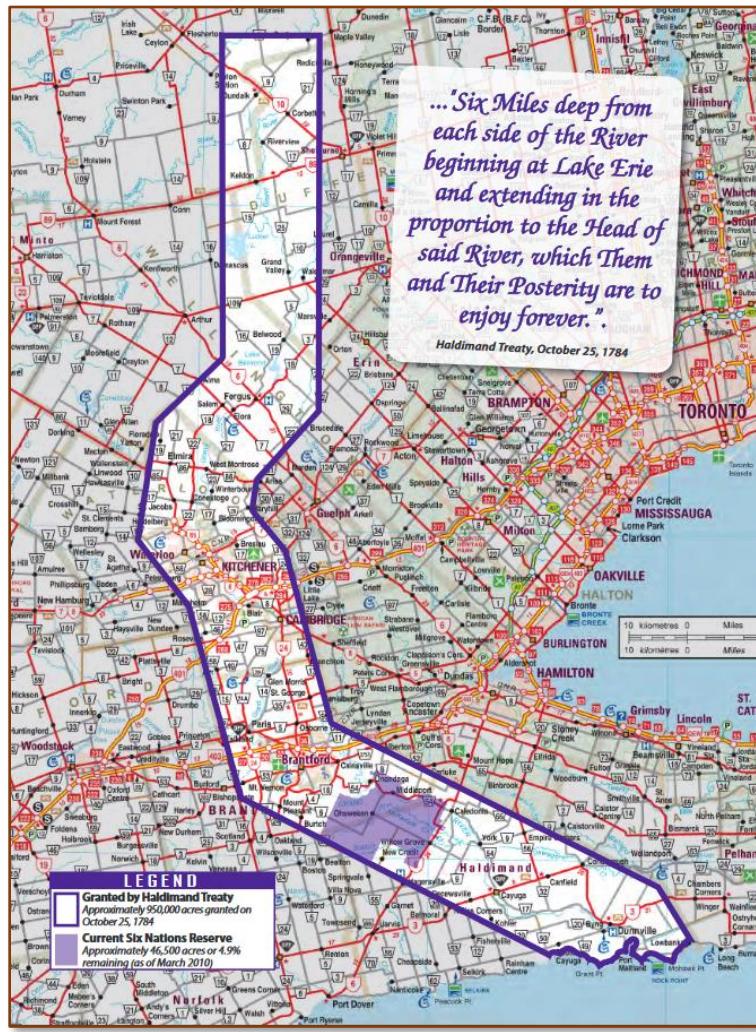
The Subject Property is encompassed by the Between the Lakes Treaty No. 3 and the Crown Grant to the Six Nations otherwise known as the Haldimand Tract or Haldimand Grant. After the first signing of the Between the Lakes Treaty No. 3 with the Mississauga in 1784, Quebec Governor Frederick Haldimand signed the Haldimand Proclamation which granted Joseph Brant and his allies a significant portion of the newly ceded territory. The territory was also part of what the Haudenosaunee consider their Beaver Hunting Grounds as represented in the Nanfan Treaty or Deed of 1701.<sup>6</sup> Brant was awarded the land in consideration for the efforts of himself, his allies, and the Haudenosaunee Confederacy on behalf of the British during the American Revolutionary War.<sup>7</sup> These efforts resulted in pressure on the Confederacy to abandon their homeland in New York State and relocate north to British territory.



**Map 2: Treaty Territory of the Mississaugas of the Credit First Nation**  
(Between the Lakes Treaty No. 3 shown in purple)  
Source: Mississaugas of the Credit First Nation

<sup>6</sup> Six Nations Land and Resources 2019

<sup>7</sup> Surtees 1984



**Map 3: Extent of the Haldimand Tract's Original Area and Current Six Nations Reserve**  
Source: Six Nations Land and Resources 2015a

The Haldimand Tract consisted of six miles on either side of the Grand River from its mouth on Lake Erie to the headwaters. The ambiguity of the boundaries of the original Treaty No. 3 and issues surrounding the original survey of the Tract by Augustus Jones in 1791 contributed to disputes between Six Nations and the Crown about the extent of the grant. The most significant area affected was the disposition of the headwaters of the Grand River, an issue which remains contentious to this day.

In attempting to resolve these early disputes, Lieutenant Governor John Graves Simcoe issued the controversial Simcoe Patent in 1793. The Patent reiterated that Jones's survey represented the Crown's interpretation of the Tract's boundaries. The Patent reaffirmed Jones's use of straight lines to represent the Tract's boundaries six miles from a sinuous river and the exclusion of the headwaters, terminating the Tract at a line that became known as the Jones' Base Line. The Patent also outlined the terms under which Brant and the Six Nations could sell or lease territory within the Haldimand Tract. The reaffirmation of the reduced boundaries and conditions placed on their title to the Tract, resulted in Brant and the Six Nations chiefs rejecting the Simcoe Patent.<sup>8</sup>



Over the past two centuries, the land tenure history of the Haldimand Tract and the parcels of the Tract that have been sold or leased in that time have been the subject of significant scrutiny.<sup>9</sup> The legitimacy of this tenure has been questioned both within the Six Nations and as part of the wider dispute with the Crown. In 2006, Six Nations of the Grand River summarized 29 claims filed with the Specific Claims Branch, formed by the Government of Canada in 1991.<sup>10</sup>

## 3.2 Historic Context: Early Municipal Settlement

### 3.2.1 19<sup>th</sup> Century and Municipal Settlement

Historically the Subject Property falls within part of Lot 1 West of Grand River, Concession 4 and part of Lots 26, 27, 28, and 29, Concession 4, Former Geographic Township of South Dumfries, Brant County, Ontario.<sup>11</sup> A brief discussion of 19<sup>th</sup> century settlement and land use in the township is provided below.

### 3.2.2 Brant County

In the late 1700s and following the earlier abandonment of the region by the Attawandaron in the mid-17<sup>th</sup> century, much of the land within the Grand River drainage was occupied by the Mississaugas (Anishinaabeg-Ojibway). Prior to early European settlement, the Mississaugas used lands within the Grand River drainage for seasonal hunting grounds.<sup>12</sup> These were the people first encountered by the earliest colonizers to arrive to the region and local Mississauga guides often provided assistance to settlers making their way through the countryside.<sup>13</sup>

Several Indigenous groups had allied themselves with the British during the Seven Years' War (1756-1763), the American Revolutionary War (1775-1783), and later in the subsequent War of 1812, including the Six Nations Iroquois.<sup>14</sup> In 1784, Sir Frederick Haldimand negotiated the purchase of roughly 1,214,057 ha (3,000,000 ac) of land from the Mississaugas. It was Haldimand's intent that these lands would be given to the Six Nations as compensation for the loss of their traditional lands in New York State following the American Revolutionary War. Details of the title were set in the Haldimand Proclamation on October 25, 1784.<sup>15</sup> The newly acquired tract extended 10 km on either side of the Grand River from Port Maitland on Lake Erie to Pilkington Township in Wellington County.<sup>16</sup> Led by Captain Joseph Brant (Thayendanegea), hundreds of people from the Six Iroquoian Nations (the Mohawk, Cayuga, Oneida, Onondaga, Seneca and Tuscarora) trekked to the Grand River purchase and established permanent settlements along the Grand River near "Brant's Ford," now the City of Brantford. Alongside them were a small number of other United Empire Loyalists, many of English descent, who had also suffered personal losses for their loyalty to the Crown and sought a new life outside of the American colonies.

Following this initial land grant, Joseph Brant proceeded to negotiate the transfer of some of the Six Nations land grant to settlers. Some of the lands transferred were small tracts and lots which would come to be

<sup>9</sup> Six Nations Lands and Resources 2006

<sup>10</sup> Six Nations Lands and Resources 2006

<sup>11</sup> Lot 1 West of Grand River, Concession 4 appears to have been known historically as lots 24 and 25, Concession 4 in records.

<sup>12</sup> Bloomfield 2006:2

<sup>13</sup> Bloomfield 2006:2

<sup>14</sup> Trimble 1875:X

<sup>15</sup> Canada 1891

<sup>16</sup> Bloomfield 2006:19

settled by United Empire Loyalists, largely ex-military men and their families, many of whom were friends, companions or associates of Brant. Other more substantial blocks, all north of Brantford, were surveyed and sold to local entrepreneurs. Block 1, comprising some 38,164 ha (94,305 ac) from Paris to just north of Galt, was sold to Philip Stedman in 1795<sup>17</sup> and would eventually become “Dumfries.” Block 2, at 38,082 ha (94,102 ac), was sold to Richard Beasley, James Wilson and John Baptiste Rousseau and would later become Waterloo Township, encompassing Hespeler, Preston, and Galt.<sup>18</sup>

United Empire Loyalists who followed Joseph Brant and the Six Nations from the United States to the Grand River Valley comprised many of the earliest settlers in the county. The Township of Burford was the first to be settled, attracting settlers as early as the 1790s. The first survey of the township took place in 1793.<sup>19</sup> Settlement in Brantford Township occurred shortly thereafter, along Fairchild Creek, so named for Isaac Fairchild, Sr.<sup>20</sup> Fairchild opened and operated the first trading post on the creek, known as Smokey Hollow.<sup>21</sup> Another one of the early settlers was John File, who was a member of Butler’s Rangers and friend of Joseph Brant’s.<sup>22</sup> By 1810, only three families had settled on the eastern side of the Grand River between Brantford and Ancaster, but settlement would increase steadily over the next twenty-five years. Other early settlers included John Oles, Isaac Whiting, and Major Westbrook.<sup>23</sup> All of these men were United Empire Loyalists who had arrived from the United States.<sup>24</sup> Thomas Perrin was the first to settle on the western banks of the Grand River. Perrin was a rye farmer who served as captain in the militia and fought at the Battle of Lundy’s Lane.<sup>25</sup>

Bridges were built across the Grand River as early as 1812, but spring flooding usually destroyed them.<sup>26</sup> In order to exploit the commercial and economic potential of the river, the Grand River Navigation Company was formed. Chartered in 1832 and after many financial setbacks, a canal was opened in November of 1848.<sup>27</sup> The canal (along with the Hamilton to London Road which was completed in 1842) was the driving force behind the establishment of mills and factories along the river, and the economic prosperity of local towns. However, the subsequent development of the railway diverted business from the canal, and the Company faced increasing financial difficulties until it declared bankruptcy in June 1861.<sup>28</sup>

As reliance on the Grand for the transportation of goods waned, the role of the railway became increasingly important for the success of communities along the river and the surrounding hinterlands. As early as the 1850s, plans were put in place to construct a line to Buffalo, with a terminus in Goderich.<sup>29</sup> On January 13, 1854, the Buffalo and Brantford Railway commenced operation.<sup>30</sup> The coming of the railway was a boon for local farmers, as demand for wheat abroad increased dramatically. The 1854 Reciprocity Treaty additionally facilitated the exchange of goods with the United States, and industrialized Britain’s growing need for goods

<sup>17</sup> McLaughlin 1987:16-17

<sup>18</sup> McLaughlin 1987:16-17

<sup>19</sup> Waldie 1984:8

<sup>20</sup> Trimble 1875:XV

<sup>21</sup> Luard 1966:13

<sup>22</sup> Reville 1920:335

<sup>23</sup> Mulvany 1883:362

<sup>24</sup> Waldie 1984:11

<sup>25</sup> Page & Smith 1875:69

<sup>26</sup> Luard 1966:22

<sup>27</sup> Luard 1966:24

<sup>28</sup> Mulvany 1883:280-281

<sup>29</sup> Reville 1920:184

<sup>30</sup> Reville 1920:184

further advanced the prosperity of not only Brantford, but the entire county.<sup>31</sup> The City of Brantford was incorporated on July 28, 1847.<sup>32</sup>

### **3.2.3 South Dumfries Township**

In 1795, “Dumfries” or “Block 1” was transferred to Philip Stedman of the Niagara District. Stedman died shortly thereafter and the land was inherited and later sold by his sister, Mrs. John Sparkman, to one Hon. Thomas Clarke. Clarke, in turn, sold it to William Dickson (Dixon), a wealthy Scott who helped initiate European settlement in the townships.<sup>33</sup> In 1817, a year following Dickson’s purchase, the Township of Dumfries was surveyed by Adrian Marlett of Ancaster. In subsequent times, Dickson’s tract would be divided into North Dumfries (now in the County of Waterloo) and South Dumfries (now in the County of Brant) Townships. Throughout its early history, the territory of South Dumfries was well traveled by settlers and businessmen who were journeying between Dundas, Brantford and Galt. Indigenous trails provided the earliest transportation routes across the township. There are reports of several known trails in the vicinity of Highway 24 and on either bank of the Grand River.<sup>34</sup> These would eventually become early settlement roads. Early settlement grew around four main communities, St. George, Glen Morris, Harrisburg, and most importantly, Paris. Homesteads also sprang up along the river’s edge, what are now East River Road and Highway 24, and along other major concession roads. East River Road was once an Indigenous trail that passed through what would become the communities of Galt and Glen Morris.

### **3.2.4 Paris**

Paris lies at the forks of the Grand River from which it took its original name, Forks of the Grand. In 1828, Forks of the Grand was known as the location of a plaster bed, a mill, and the place where the Governor’s Road crossed the Grand River.<sup>35</sup> The first settler at the Forks of the Grand was William Holme, an English-born Quaker from a wealthy family who arrived in 1821.<sup>36</sup> Although Holme was the first European to settle in this area, he is not credited as the founder of Paris. Holme’s primary interest was to acquire land to build a great estate. In contrast, it was the actions of Hiram Capron Esq. that initiated the formation of the Town of Paris when he purchased the future townsite from Holme. Capron, known to the locals as “King Capron,” owned all the land that currently forms the “Lower Town” of Paris.<sup>37</sup> The “Lower Town” comprises all of the land north of Smith’s Creek (or Nith River), in South Dumfries Township. The rest of the town of Paris (“The Upper Town,” south of Smith’s Creek in Brantford Township) was formed on property owned by Robert Roseburgh.<sup>38</sup> In 1829 Capron commissioned surveyor Lewis Burwell to subdivide his land into streets and lots. By 1830, people started to settle the newly formed lots, and by 1831, the village was named Paris.<sup>39</sup> The name “Paris” is a reference to the gypsum beds found at this location, from which “Plaster of Paris” is manufactured.

By 1840, Paris was becoming a thriving mill town, and numerous businesses had emerged, including Kirkwood’s grist and plaster mill, Totten’s woolen mill, Heath’s foundry, the Van Brocklin and Company

<sup>31</sup> Reville 1920

<sup>32</sup> Mulvany 1883:251

<sup>33</sup> Mulvany 1883:432-33

<sup>34</sup> Taylor 1970:26, 134

<sup>35</sup> Smith 1956:10

<sup>36</sup> Smith 1956:7

<sup>37</sup> Page and Smith 1875:68

<sup>38</sup> Page and Smith 1875:68

<sup>39</sup> Smith 1956:19

foundry, Hamilton's grist and plaster mill, Gables' tannery, and a sawmill.<sup>40</sup> During the 1860s, industry in Paris was dominated by the Penman family. In addition to owning the famed Penman Manufacturing Company, the family-owned numerous shops and mills along the Willow Street millrace, also purchasing important water rights.<sup>41</sup> The town's location at the fork of the Grand River supplied power to the numerous mills; however, flooding events were common, occurring frequently throughout the early 1900s.

The Town of Paris had been laid out by 1858, and many of the streets within the town were open by this time, including William, West River, Grand River, and Mechanic streets. The William Street Bridge over the Grand River was present as of 1858. The Grand River Street Bridge over the Nith River also appears to have been built by 1858. A bridge over the Nith River, at the site of the William Street Bridge, was present in 1828 and crossed by Capron as he visited the site for the town.<sup>42</sup>

The beginning of the 20<sup>th</sup> century was marked by one of the most significant events in Paris's history. On September 11-12, 1900, a massive fire consumed much of Paris's core along Grand River Street North south of William Street, including the Roller Mills.<sup>43</sup> Thirty-eight businesses were destroyed, and damages were estimated to total \$250,000.<sup>44</sup> Despite the losses, downtown quickly recovered with the majority of the street rebuilt by the following year.<sup>45</sup>

Perennial flooding continued to impact Paris during the 20<sup>th</sup> century, with the Flats and Lower Town suffering significant flood events in 1912, 1927, 1928, and 1947.<sup>46</sup>

The slow decline of manufacturing in Paris took much of the 20<sup>th</sup> century, as the mills along Mechanic Street and Willow Street closed. Despite the steady loss of industry, Paris continued to grow incrementally throughout the 20<sup>th</sup> century according to census data. Tourism and service industries for growing residential neighbourhoods expanded as Paris leveraged its architectural and natural heritage in the latter half of the 20<sup>th</sup> century and into the 21<sup>st</sup>.

### 3.3 Local Property History

The Subject Property falls within part of Lot 1 West of Grand River, Concession 4 and part of Lots 26, 27, 28, and 29, Concession 4, Former Geographic Township of South Dumfries, Brant County, Ontario.

<sup>40</sup> Smith 1956:20

<sup>41</sup> Smith 1956:64

<sup>42</sup> Smith 1956:10

<sup>43</sup> Smith 1956

<sup>44</sup> Reville 1920

<sup>45</sup> Wilkinson 2006

<sup>46</sup> Paris Museum and Historical Society n.d.d.

### **3.3.1 Part of Lots 26 and 27, Concession 4, Township of South Dumfries**

The west part of the property was owned by William Dickson.

#### **Lot 26**

Through an indenture in 1837, Henry V.S. Maus received 300 acres (ac) which included the south half of Lot 26 (100 ac) and the west 100 ac of Lot 1 West of Grand River, Concession 1. A Methodist, he was the father of Jairus B. (b. 1816) and John Maus (b. 1818). The former was born in New York State and emigrated with his parents first to Queenston, then Galt for six years before relocating again to South Dumfries Township in 1824.<sup>47</sup> The Maus family had a long history in the Hudson River valley area of New York state. Henry's grandfather, George, and grandmother were killed in the Fort Seybert Massacre while Henry's father, Tankard, and his sister "...were taken by Indigenous people."<sup>48</sup> George Maus (Mauss) was born in Germany in 1715.<sup>49</sup> Tankard received his name as he was traded at a trading post for a silver tankard.<sup>50</sup> The trading post owner, Henry Van Scaack, raised him.<sup>51</sup> Tankard and Van Scaack's daughter married and named their first son Henry Van Scaack Maus.<sup>52</sup> Alongside Jairus and John, Henry and his wife, Aurilla Bunnell, had four more children and he was also accompanied to the South Dumfries area by several of his own brothers and sisters.<sup>53</sup>

Henry and his wife then sold this land and 225 ac of this land to Jarius Maus in 1851. Through his will, his family received the south half of Lot 26 and other lands in June 1873. A mortgage appears to have been granted to John H. Maus in 1891 for \$8,000 for the south half of said lot and other lands.

The south half of Lot 26 was sold outside the Maus family in 1910 when John Henry Maus and his wife sold it to William Morris and his wife. In that decade, it exchanged hands frequently, moving from Morris and his wife to John B. Hutty in 1913, from Hutty to Soloman Frank in July 1917 then from Frank and his wife to James E. Mordue in September 1917. Mordue and others then granted the south half of this lot to Reginald T. and Marjorie E. Coombs in 1954.

#### **Lot 27**

The Subject Property is historically part of the southern half of Lot 27, Concession 4 which was owned by William Dickson. Abraham Shade received the north half of the south half of Lot 27 through an indenture in 1826. He later sold this to Jarius Maus in 1839.<sup>54</sup> Meanwhile, Dickson sold the south quarter of Lot 27 to Dorman Maus in 1837 with the exception of the land allocated for the cemetery. Dorman then sold this to Henry V.S. Maus in 1854 who in turn sold this and the north half of the south half of Lot 27 to John Maus. John then sold the north half of the south half of Lot 27 to Jarius Maus in 1862.<sup>55</sup> Through his will, his family received the north half of the south half of Lot 27 and the east half of the south half of this lot, as well as other lands, in June 1873. By 1875, the entire Subject Property is associated with Jarius Maus (Map 4).

<sup>47</sup> Beers 1883:669

<sup>48</sup> County of Brant:35

<sup>49</sup> Find a Grave, n.d.

<sup>50</sup> County of Brant:35

<sup>51</sup> County of Brant:35

<sup>52</sup> County of Brant:35

<sup>53</sup> County of Brant:35

<sup>54</sup> Teranet and Service Ontario

<sup>55</sup> Teranet and Service Ontario

In 1878, Henry S. Maus sold part of the southeast quarter of Lot 27 to the Trustees Public Cemetery. John Henry Maus and his wife sold the southwest quarter of the south half of Lot 27 (25 ac) and other lands to Philip Kelley in 1909. Then a year later, Maus and his wife sold the north half of the south half and the east half of the south half of the south half of Lot 27 to William Morris in 1910. As with Lot 26, Morris and his wife sold the north half of the south half and the east half of the south half of the south half of Lot 27 and other lands to John B. Hutty in 1913. Hutty then sold this land to Soloman Frank in July 1917 who sold it to James Mordue in September of that year.

### **3.3.2 Part of Lots 28 and 29, Concession 4, Township of South Dumfries**

In 1840, William Dickson granted 150 ac to Charles Maracle. This included the south portions of Lot 29 and Lot 30 which together comprised 100 ac and the northeast quarter of Lot 31 comprising an additional 50 ac. In 1846, Maracle and his wife granted these 150 ac to Thomas Gadd who took out a mortgage of £725. In 1856, Thomas and Hannah Gadd issued a quit claim to Jacob Crook Crane for 116 ac, comprising the portions of the aforementioned lots. However, in 1862, Crane and his wife sold 150 ac (the lands comprising the lot fabric that the Gadds had purchased from Maracle) to John Maus. In 1873, Jairus Maus purchased 100 ac from Orin Maus for \$6,000, the increased value suggesting that a structure or structures existed on the property. By 1878, historical maps depict the extant farmhouse on the property and show that a 100 ac parcel (owned by Jairus Maus) extended from east to west on part of lots 28, 29, and 30, intersected by Pinehurst Road (then known as Spragues Road). With the death of Jairus Maus in 1878, the land was transferred to John Maus. In 1909, John Henry Maus and William Maus, acting as executors for John Maus, sold 125 ac to Philip Kelley for \$8,900. In 1918, the Kelley family sold this land to Leslie Kelley for \$8,900.<sup>56</sup> The land remained in Kelley's possession until 1962.<sup>57</sup> In 1972, Joseph and Margaret Meggs received a grant for this land from the director of the Veterans' Land Act, which the latter sold 12 years later.<sup>58</sup>

### **3.3.3 Lot 1 West of Grand River, Concession 4, Township of South Dumfries**

In 1826, William Dickson sold the south half of this lot along with 1,550 ac elsewhere to Samuel Street. John Clemens purchased the north half in 1834. In 1837, Henry V.S. Maus received the west 100 ac of this lot along with the south half of Lot 26 (100 ac) and the south half of Lot 31 (100 ac) in Concession 5 for a total of 300 ac. Henry V.S. Maus sold the west 100 ac of Lot 1 to Jairus Maus in 1851 as part of a 225-ac sale. Through his will, his family received the west 100 ac of Lot 1 and other lands in June 1873.

In April 1913, Henry S. Maus and his wife sold the west half of Lot 1 to Robert H. Guthrie. Guthrie and his wife granted this land to George W. Tombleson in 1920.

## **3.4 History of the Subject Property**

For simplicity, the Subject Property can be understood as three distinct parcels, a western wedge, comprising sections of Lots 28 and Lot 29, a central section composed of the southern halves of lots 26 and 27, and an eastern section, comprising part of Lot 1 West of the Grand River.

<sup>56</sup> Teranet and Service Ontario

<sup>57</sup> Teranet and Service Ontario

<sup>58</sup> Teranet and Service Ontario

### **3.4.1 Part of Lots 26 and 27, Concession 4, Township of South Dumfries**

No structures were depicted within or near this part of the Subject Property on the 1859 Tremaine's map of Brant County (Map 4).<sup>59</sup> With the exception of the southern half of Lot 27, which was associated with John Maus, the remaining portions of this part of the Subject Property were associated with Jarius Maus. Paris Plains Church Road was depicted as open as of this date.

By 1875, a structure that was likely the residence, as well as related orchards, was depicted on Lot 26. It is curious that the 1875 map depicted the church and schoolhouse in Lot 26, which is incorrect, as they are both located in Lot 27. This inaccuracy suggests that the residence may have also been located further west, perhaps on Lot 26 bordering Lot 27. Paris Plains Church Road was still shown to be open.

In 1916, the residence was depicted along this aforementioned border. The location of this structure as well as the orchard to the east of it, remains static through to 1940.

By 1968, a laneway was depicted in the same location as it is today with a tree line along the rear third of this laneway dividing lots 26 and 27. What were likely the residence and barn that were recently demolished (c. 2014), as well as another outbuilding, were located on Lot 26 just to the east of the border with Lot 27. At this time, trees were interspersed between and around these buildings contributing to a homestead landscape. This depiction remained the same up to the point when these buildings were demolished. It should be noted that the residence, barn, and outbuilding were located to the west of the structure and orchards that were depicted in 1875.

By 2013, the barn, which was located north of residence, had noticeable deterioration along part of the roof. A silo along the east part of the north elevation was roofless. Demolition of the structures occurred between March 2014 and April 2016. Between April 2016 and May 2017, this area was tilled, effectively diminishing most of the footprint of this homestead landscape. Through satellite imagery and the site visit, only faint outlines of the former structures were recognizable, save for the partial existence of a former well.

### **3.4.2 Part of Lots 28 and 29, Concession 4, Township of South Dumfries**

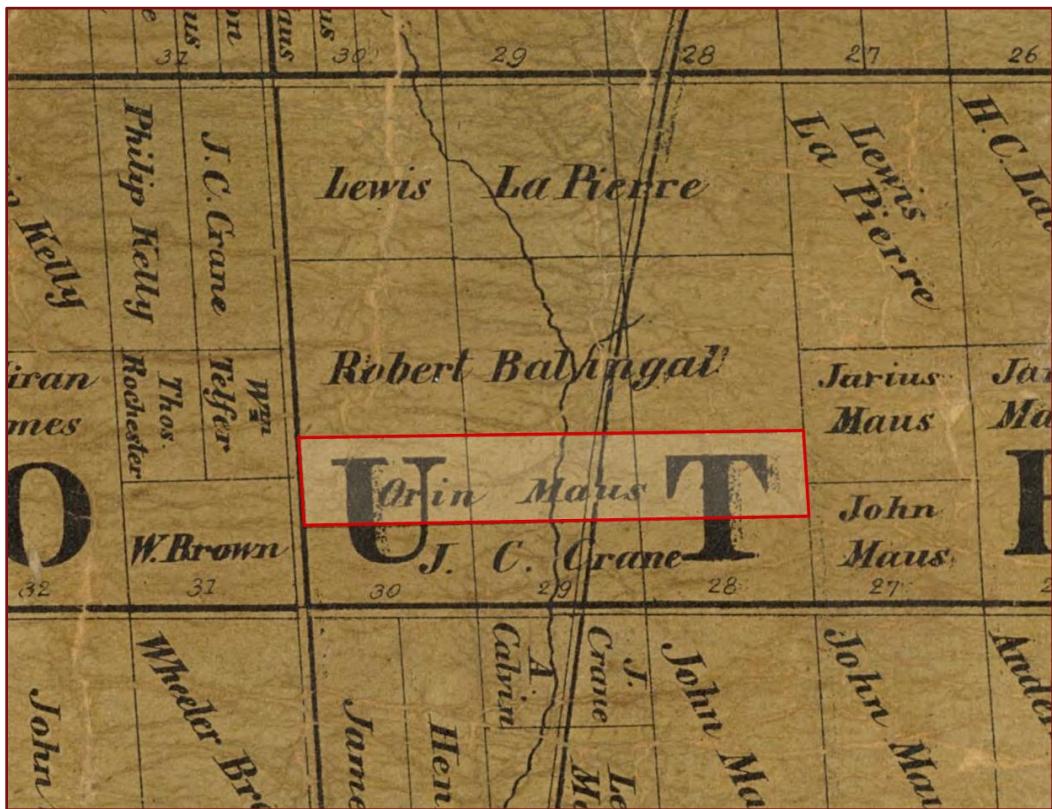
No structures were depicted within or near this part of the Subject Property on the 1859 Tremaine's map of Brant County (Map 4).<sup>60</sup> The parts of Lots 28 and 29 comprising the Subject Property were occupied by Orin Maus. He also occupied part of Lots 29 and 30 on the west side of Pinehurst Road (formerly known as Spragues Road; Image 1).

<sup>59</sup> It should be noted that no structures are shown on the 1859 Tremaine's map, which is generally the case for all properties in the County at that time.

<sup>60</sup> It should be noted that no structures are shown on the 1859 Tremaine's map, which is generally the case for all properties in the County at that time.

### Image 1: Orin Maus' Lots, 1859

Source: Tremaine, 1859. Annotated by TMHC.



By 1875, a structure that is likely the current house on the property was depicted on Lot 28, although the location appears to have been mapped incorrectly as the extant farmhouse is located on part of Lot 29 (Map 4). An orchard is depicted to the east of this building.

In 1916, the house was depicted more accurately on Lot 29, and was indicated as being closer to Pinehurst Road. The location of this building, including the orchard to the east, remains static through to 1940.

Aerial photographs from 1954 and 1966 show clusters of trees in similar locations as those that exist today and, in 1968, the L-shaped bank barn is depicted east of the house. The features depicted on the 1976 topographic map remain unchanged to the present day.

According to the former property owner, vinyl siding was applied to the house in the 1980s and some concrete work done in the east part of the basement. The above-ground pool was constructed in 2020.

#### 3.4.3 Lot 1 West of Grand River, Concession 4, Township of South Dumfries

The built landscape of Lot 1 has changed repeatedly over the years. While no structures were shown on this property in 1859, by 1875 a structure was located to the west of an orchard that was located to the left of centre of this part of Lot 1.

By 1916, the structure to the west of the orchards had been removed and another had been built east of the kettle bog/wetland on what appears to have been the eastern part of Lot I West of Grand River. This structure remained here until at least 1940 but was removed by 1954.

By 1954 there were approximately three structures, likely a residence and two outbuildings, located to the southwest of the wetland that were accessible from Paris Plains Church Road. These were also visible in the 1966 and 1968 topographical maps. By 1976, these buildings had been removed. The 1968 and 1976 topographical maps depicted a deliberate tree line located on what may have been the east part of the lot near the wetland parallel to Paris Plains Church Road. If these maps were accurate, this line of trees was planted after 1954 and has since been removed.

Lot I West of Grand River appears virtually unchanged since the removal of these structures.

From an evaluation of the landscape within this area of Brant County, the wetland located on the eastern part of this part of Lot I appears to be one of an extensive collection of lakes, ponds, and wetlands, contributing to a broader natural and ecological history.<sup>61</sup> A study of the physiographic history of the area points to this water feature being a kettle bog or kettle wetland, formed during glacial retreat where some melting ice blocks remained in place, forming an enclosed basin.<sup>62</sup>

These glacial features dot this landscape, ranging in size, shape, and function. While some kettles are fed by underground water sources or streams eventually becoming lakes, others that are fed only by rainwater precipitation become closed ecosystems.<sup>63</sup> An example of a kettle lake can be seen in the Spottiswood Lakes only 540 m north of the Subject Property. The wetland on the Subject Property is more likely to be fed by rain water and groundwater sources, suggested by the low water level noted during the field visit.

While not physically connected to other natural heritage features and areas, the wetland on the Subject Property has evidently become a self-sustaining ecosystem and wildlife habitat. Depictions of this wetland have shown that its scale and composition have remained virtually unchanged for at least a century.

### 3.5 Adjacent Properties to the Subject Property

Five properties adjacent to the Subject Property were identified as containing structures over 40 years old or previously identified on Brant County's working inventory of properties and were subsequently analyzed in this study. These properties included 684 Paris Plains Church Road; 705 and 709 Paris Plains Church Road containing the Maus School, the Paris Plains Cemetery, and the Paris Plains Church (Images 2-5); 724 Paris Plains Church Road; and 325 West River Road. Historical photographs of the Maus School, Paris Plains Cemetery, and Paris Plains Church are listed below.

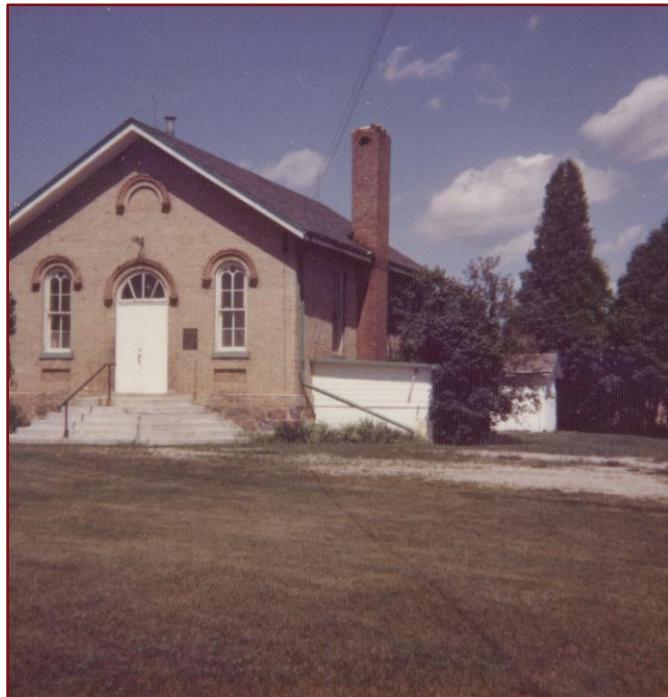
<sup>61</sup> Carolinian Canada, n.d.

<sup>62</sup> Bennet, M., Glasser N 1997:289

<sup>63</sup> Bennet, M., Glasser N 1997:289

**Image 2: Maus School**

Source: County of Brant Public Library

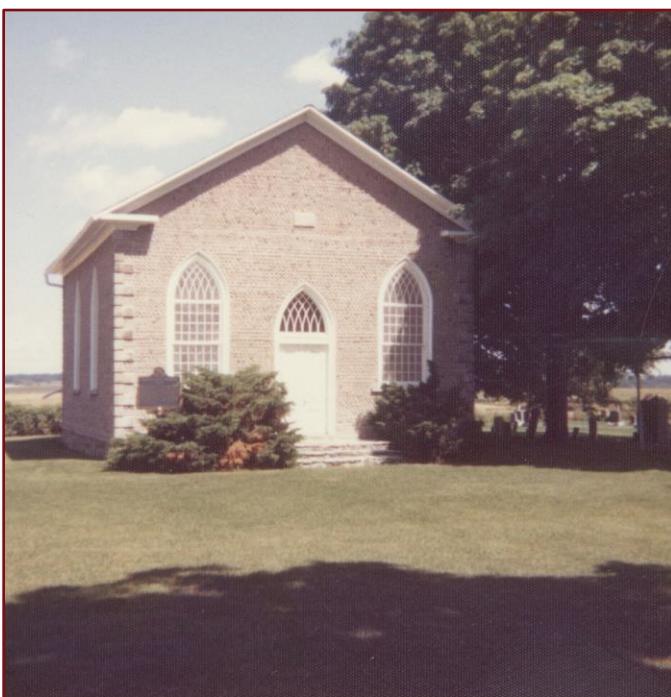


Property of the County of Brant Public Library

2011SD216.102

**Image 3: Paris Plains Church**

Source: County of Brant Public Library

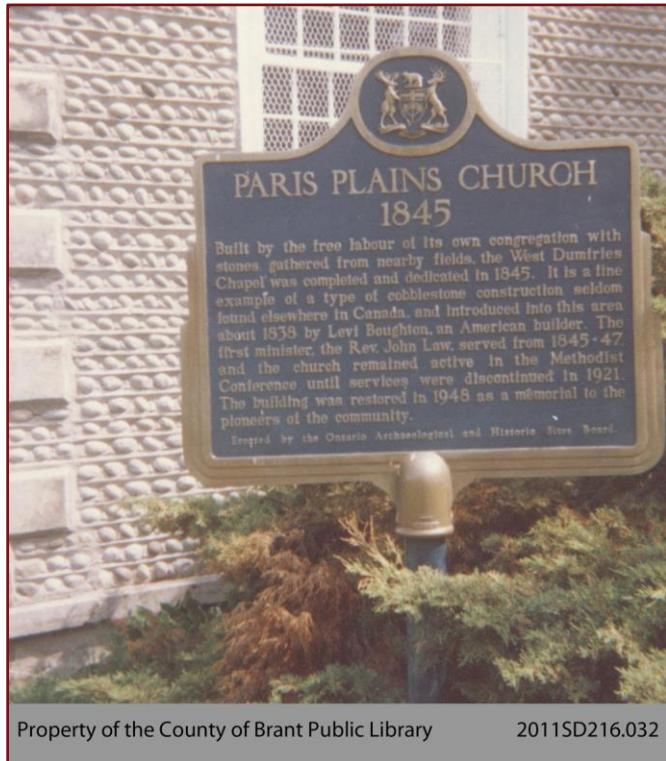


Property of the County of Brant Public Library

2011SD216.031

**Image 4: Paris Plains Church Commemoration**

Source: County of Brant Public Library



Property of the County of Brant Public Library

2011SD216.032

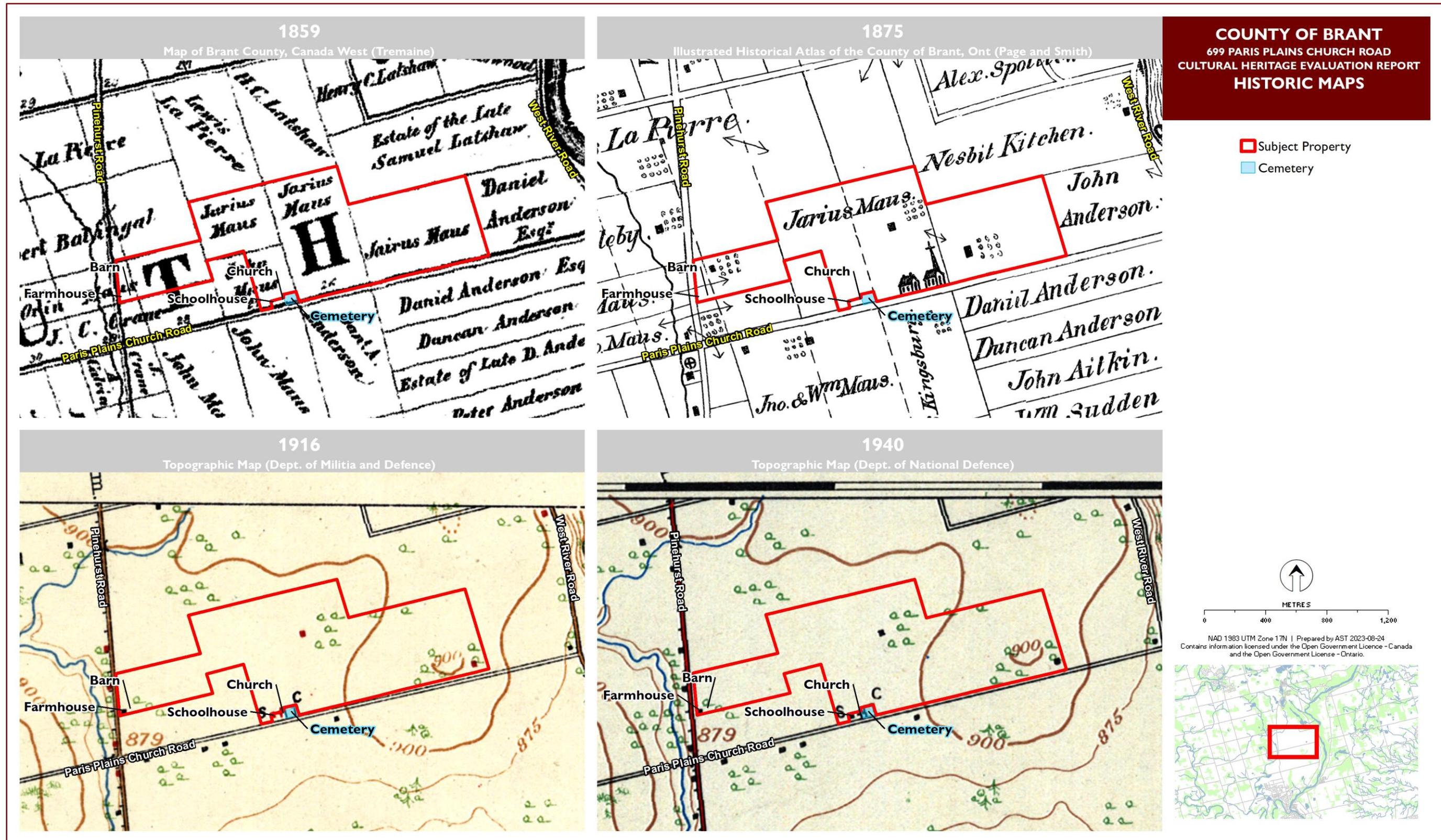
**Image 5: View of Paris Plains Cemetery – c.1978**

Source: County of Brant Public Library

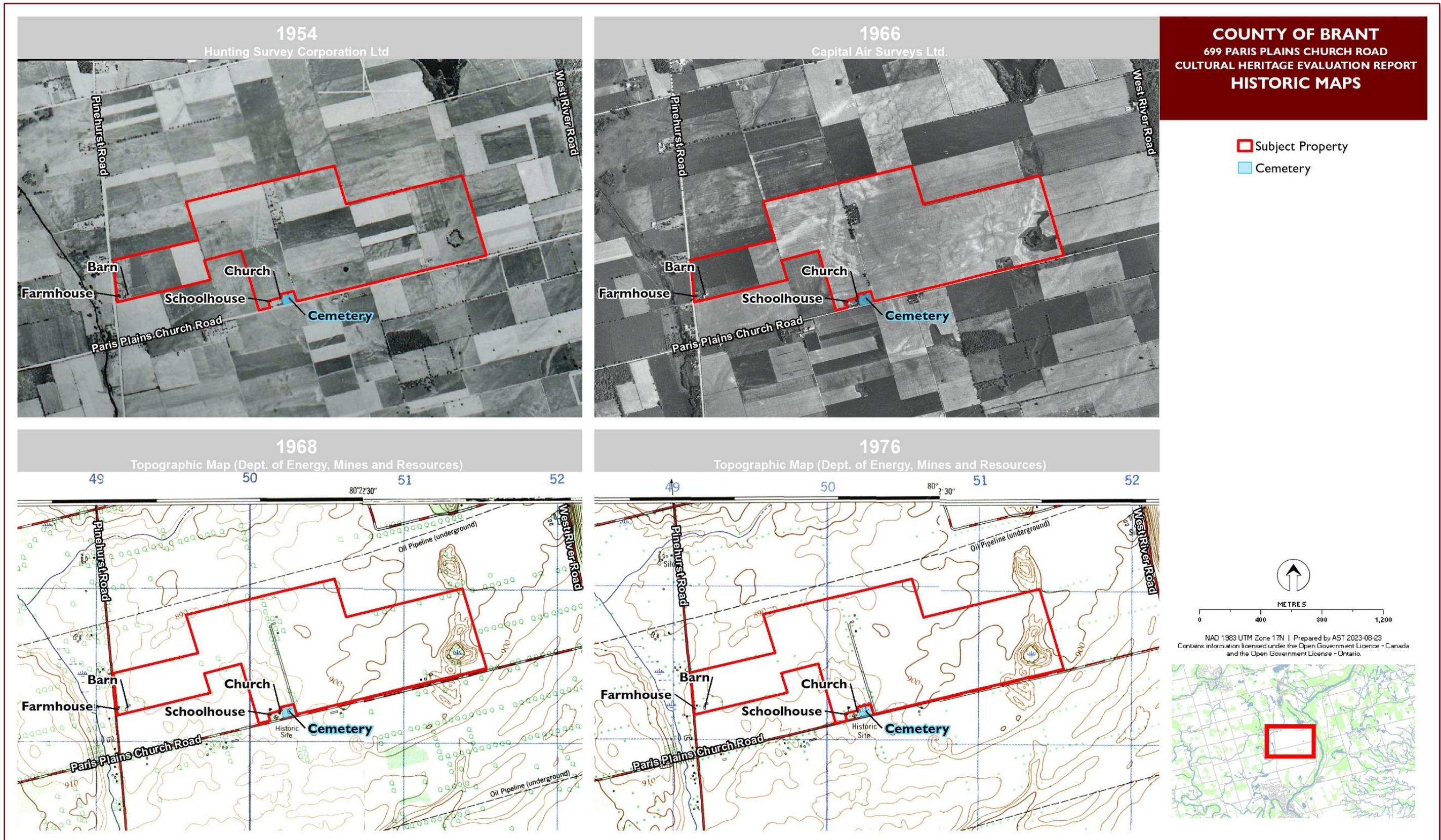


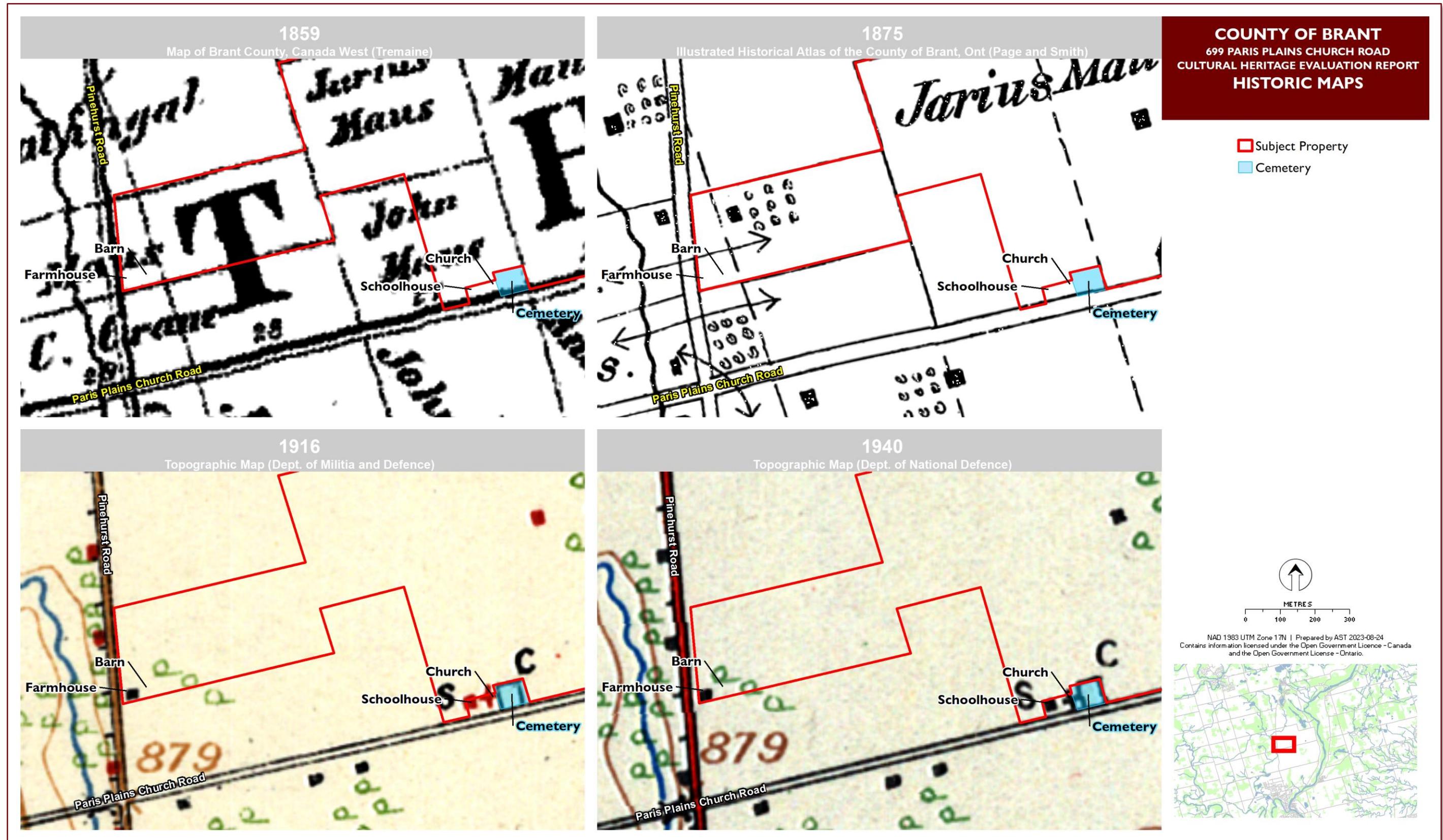
Property of the County of Brant Public Library

2011SD216.023



Map 4: 1859-1940 Maps of the Subject Property





Map 6: 1859-1940 Maps of the Church, Cemetery and School



Map 7: 1954-1976 Maps of the Church, Cemetery and School

## 4 EXISTING CONDITIONS

Three site visits to the Subject Property and adjacent properties were undertaken. For the purposes of preparing the CHER/HIA, Hayden Bulbrook of TMHC visited the Subject Property on December 6, 2021. For the purposes of preparing the Condition Assessment and Conservation Plan, a site visit was conducted by Tacoma Engineers on October 14, 2022. An additional site visit to the Subject Property was conducted by Hayden Bulbrook on August 2, 2023 and included documentation of 304 Pinehurst Road including the interior of the extant farmhouse. As part of this site visit, some updated documentation of 705 and 709 Paris Plains Church Road was also undertaken. The photographs in this section document the property's current conditions and nearby areas of interest. A high-level condition assessment is included in this CHER/HIA using the following definitions:

- **Good condition:** The building or landscape feature appears intact with superficial or no visible damage, wear, or erosion ranging from not present to superficial. Building envelopes appear intact and building facilities such as HVAC and electricity are functioning to maintain the structure.
- **Fair condition:** The building or landscape feature appears structurally intact with moderate visible damage, wear, or erosion. Building envelopes may have limited loss of integrity resulting in some damage to the interior. HVAC and electricity may or may not be functioning.
- **Poor condition:** The integrity of the building or landscape feature appears compromised or in danger of being compromised. Building envelopes are breached in multiple locations resulting in significant damage to the interior.

These conditions help inform consideration of the integrity of structures and landscapes on the Subject Property. Integrity refers to the legibility of historical attributes and their relationships to one another. High integrity means these attributes remain discernable and their relationships have not been diminished or irreversibly altered. Low integrity means these attributes and relationships are no longer present or they are no longer recognizable as such. For example, a historic structure may have high integrity if it retains key stylistic architecture features such as a hipped roof with projecting eaves and corbels on an Italianate house. If these or other features are missing, the integrity of the building is diminished. It should be noted that condition is not synonymous with integrity although poor conditions can contribute to a loss of integrity over time.

### 4.1 Central Portion of Subject Property - Location of Former House and Barn

The central portion of the Subject Property comprises the southern half of lots 26 and 27, Concession 4. This section surrounds the Maus School, the Paris Plains Cemetery, and Paris Plains Church, which are excluded from the Subject Property. It also excludes the southwest quarter of the south half of Lot 27. A laneway from Paris Plains Church Road travels northward along the western boundary of Lot 26 (Image 6). Historically, this laneway ended at a residence and barn, as shown in Map 5; however, these structures were demolished between 2014 and 2016 (Image 7). Remnants of the former structures and a buff brick well were located near this western border (Images 8-10). However, no standing cultural resources of interest or significance remain.

**Image 6: Laneway from Paris Plains Church Road**

Looking North



**Image 8: View of Subject Property East of Laneway**

Looking East



**Image 10: Bricked Well Interior East of Former Barn Location**

Looking Southwest



**Image 7: Laneway Approximate to Former House**

Looking North



**Image 9: View of Subject Property West of Laneway**

Looking West



## 4.2 Eastern Portion of Subject Property – Wetland

The eastern half of the Subject Property comprises the west side of Lot 1 West of Grand River, Concession 4. Of interest is a wetland located at the eastern edge and enclosed by trees and brush (Images 11-12). The total area of this feature, inclusive of the treed and grass perimeter, is approximately 3.16 ha (7.81 ac). The area of the actual water feature is approximately 0.47 ha (1.17 ac) though variability depending on season is likely. The elevation along the southeastern corner of this parcel descends toward this feature (Image 13). The water feature itself is located roughly in the centre of this treed area and is ridged around an irregularly shaped bowl, descending approximately 5 m into swampy conditions (Image 14). At the time of visit, water levels had receded toward the centre of this bowl and appeared relatively shallow (Image 15). Historical topographical maps suggest that a structure once sat to the southwest of the water source; however, no evidence of this structure was evident from the roadway or the wetland.

**Image 11: Wetland from Paris Plains Church Road**

Looking North



**Image 13: Dip in Elevation Near West End of Wetland**

Looking Southwest



**Image 15: Wetland at Low Point Near Water's Edge**

Looking North



**Image 12: South Tree Line of Wetland from South Part of Field**

Looking North



**Image 14: Irregular Bowl Shape Dipping Toward Centre of Wetland**

Looking North



### 4.3 Western Portion of Subject Property – 304 Pinehurst Road

The property at 304 Pinehurst Road is located in the western portion of the Subject Property and contains a farmhouse fronting onto Pinehurst Road (Images 16-17). This exterior of the building is clad in vinyl and aluminum siding and, despite having a vernacular Georgian form and a side-gable roof, it lacks notable architectural detailing. The house has a T-shaped footprint with a rear garage addition that is perpendicular to the roadway (Image 18). Inside, the main and upper levels of the house have been extensively renovated and lack historical detailing. However, the basement retains a handful of features that are consistent with mid-19<sup>th</sup> century construction. It has a fieldstone foundation with a bricked section along part of the south wall. Many of the beams in the basement are composed of top-cut round log joists with bark intact (Images 19-21). Evidence of brick masonry is visible along or above the frost line of the foundation.

To the east of the house is an L-shaped bank barn with horizontal shiplap and board and batten cladding, a metal roof, and a coursed fieldstone foundation visible on the north, west, and south elevations (Images 22-24). The northern section of the barn is connected to the southern section along its southwest corner. While there appears to be no extensive deterioration of the wood envelope or metal roofing evident from either the barn's exterior and views inside the entrance, the north and west elevations have been recently impacted by the removal and salvage of sections of barnboard. The asymmetrical roof pitch of the north section of the barn is most evident on the east elevation (Image 25). The interior of the barn contains old growth woodwork including round log rafters, and hand-hewn interior beams, knee braces and purlins (Images 26-27). Because the building has a metal roof and has been maintained regularly, the wood portions of the interior appear to be in good condition. A painted shed, added by a former property owner, is located to the west of the barns and is not considered historical.

**Image 16: West Elevation of House**

Looking East



**Image 18: North and East Elevation of House**

Looking Southwest



**Image 20: Brick and Stone of South Foundation Wall**

Looking South



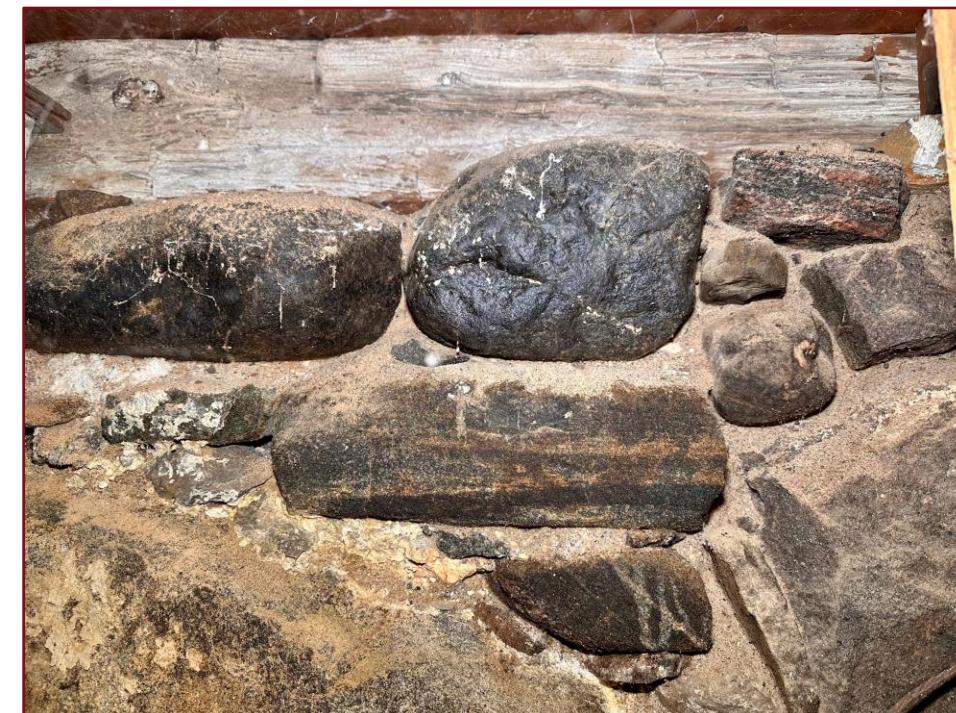
**Image 17: Southwest Elevation of House**

Looking Northeast



**Image 19: Stone of South Foundation Wall of House**

Looking South



**Image 21: Top-Cut Round Log Joists of House**

Looking South



**Image 22: Barn, Shed, and Laneway at 304 Pinehurst Road**

Looking Northeast



**Image 23: West Fieldstone Foundation Wall of Barn**

Looking East



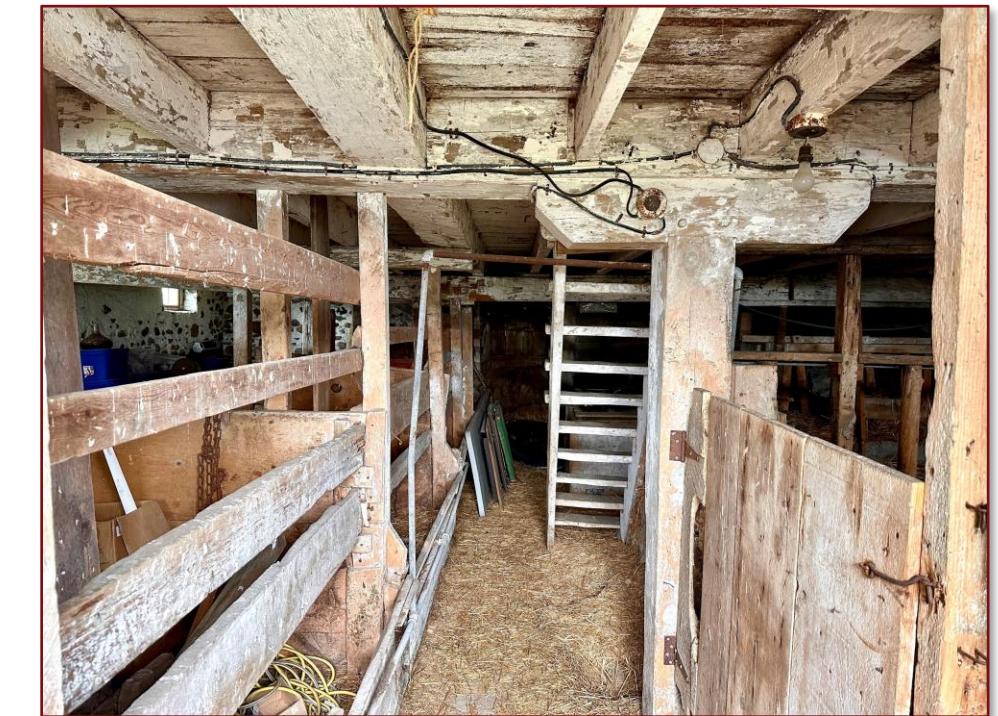
**Image 24: South Elevation of Barn**

Looking North



**Image 26: Woodwork of Lower Level of Barn**

Looking North



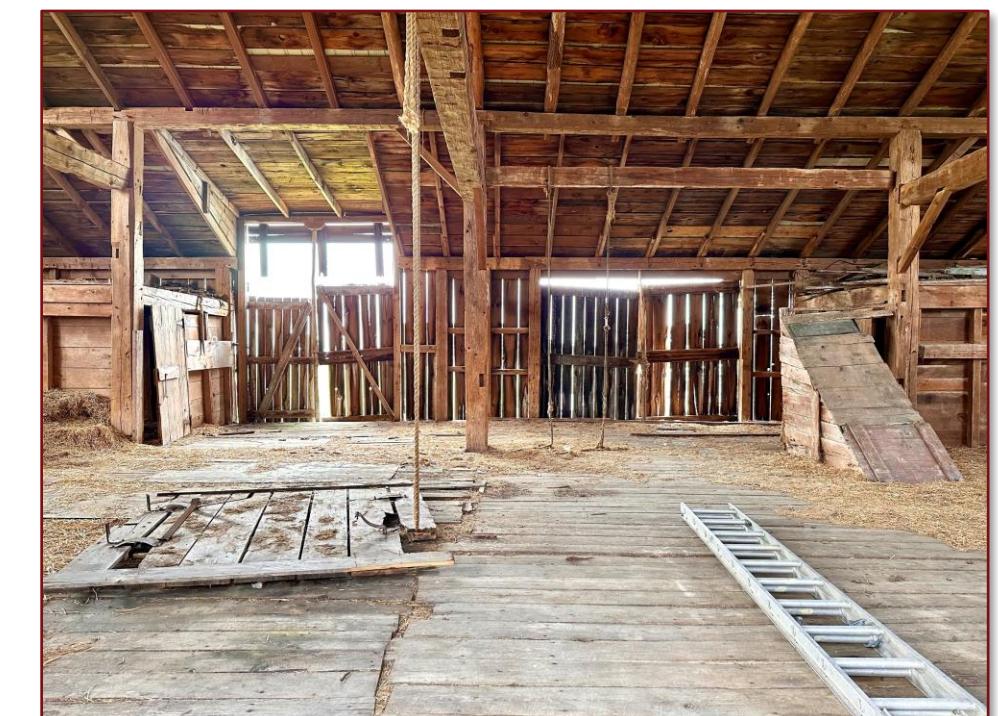
**Image 25: East Elevation of Barn**

Looking West



**Image 27: Interior of Barn from North Entrance**

Looking South



## 4.4 Adjacent Properties to the Subject Property

This section documents the existing conditions of the identified heritage and potential heritage properties adjacent to the Subject Property. More information about the adjacent properties, including cultural heritage evaluations, can be found in Appendix B.

### 4.4.1 684 Paris Plains Church Road

Licensed under the Aggregate Resources Act, the property at 684 Paris Plains Church Road is located on the south side of Paris Plains Church Road, south of the Subject Property. Set well back from the road, it contains a one-and-a-half storey residence that is clad in horizontal siding and a barn with a horizontal wood envelope and metal roof (Images 28-29). The property is accessible from Paris Plains Church Road via a U-shaped laneway that travels to and from the barn. The residence, which is three-bays wide with a centre-hall plan, resembles a side-gable vernacular Georgian form though it is devoid of historical detailing. It appears to be in sound condition with no noticeable deterioration of the cladding or asphalt roofing evident from the roadway where the property was documented.

**Image 28: 684 Paris Plains Church Road with House and Shed**

Looking Southeast



**Image 29: House Located at 684 Paris Plains Church Road**

Looking Southeast



#### **4.4.2 705 Paris Plains Church Road - Paris Plains Church & the Paris Plains Cemetery**

Immediately adjacent to the Subject Property is the Paris Plains Church and the Paris Plains Cemetery. The existence of the Paris Plains Church Cemetery may date back to 1813, according to the County of Brant (Image 30). Land for the cemetery is noted to have been given by William Dickson. This allocation seemingly predicated the settling of the Maus family in South Dumfries Township as Henry V.S. Maus and his family had not relocated to the township until 1824.<sup>64</sup> An extant stone in the cemetery dates to 1833.<sup>65</sup>

The cemetery is located to the east of both the Maus School and the Paris Plains Church. It is enclosed by a chain-link metal fence along the south and is accessible from the roadway by a separate entrance that was closed by a fence gate at the time of the visit. Documentation of these properties occurred from the right of way off Paris Plains Church Road, as well as from the Subject Property.

The Paris Plains Church was constructed in 1845 by free labour from the church congregation (Image 31-33).<sup>66</sup> The stone quoins, cobblestone courses, multi-paned pointed Gothic windows and transom light, and eave returns were all observed. The church and the school are approximately 47 m apart. Both are accessible from a centre laneway on the north side of Paris Plains Church Road.

The Condition Assessment, conducted by Tacoma Engineers, considered the interior and the exterior of the Church and noted that the:

- exterior of the church is in excellent condition (Image 34); and
- the ground floor of the interior of the church is in excellent condition (Image 35).<sup>67</sup>

There were cracks noted above the front (south) elevation window openings (Image 36).

The Paris Plains Church was designated under Bylaw 24-86 on August 21st, 1986, and a heritage plaque commemorating the church is present on the property. The Paris Plains Church Cemetery was designated under Bylaw 84-23 on August 2, 2023.

<sup>64</sup> Webster 1961:37

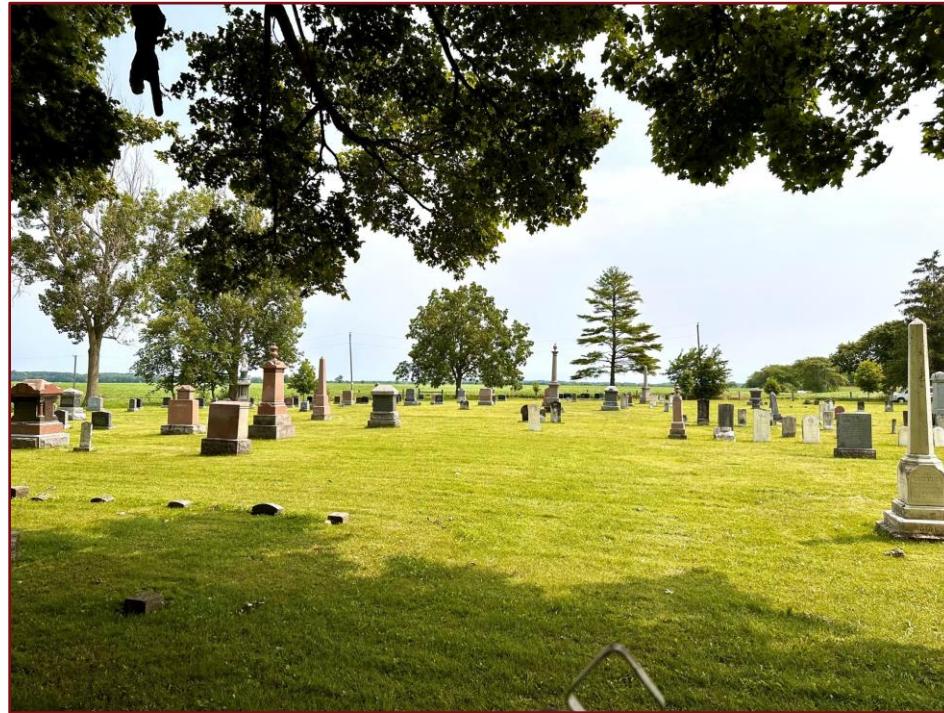
<sup>65</sup> County of Brant Public Library:22

<sup>66</sup> Reid 1983:313

<sup>67</sup> Tacoma Engineers Inc. 2022:14

**Image 30: Paris Plains Cemetery**

Looking Northeast



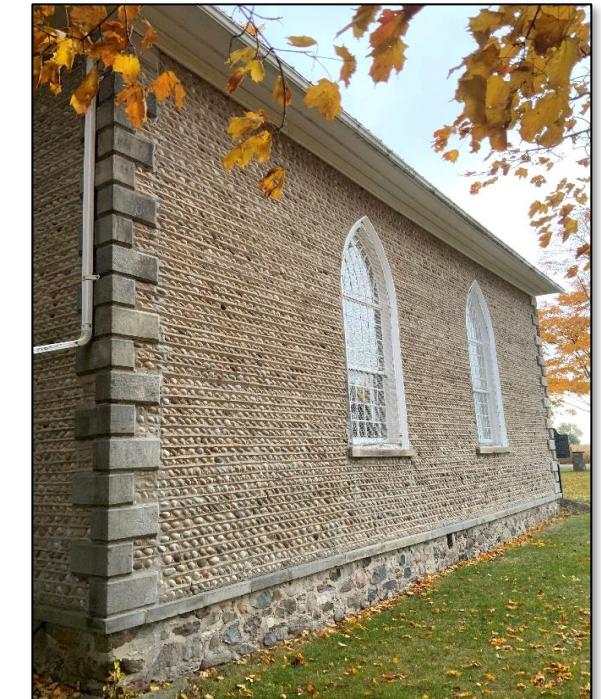
**Image 32: Fieldstone Courses and Quoins of Church**

Looking East



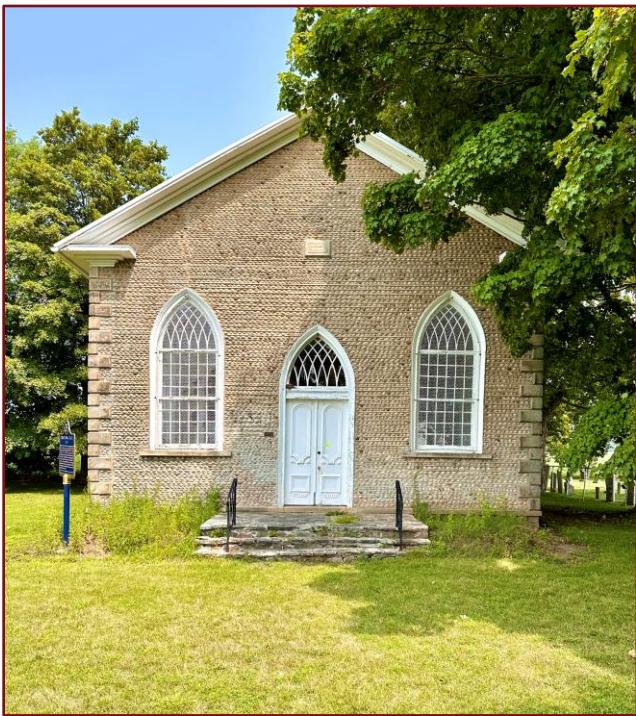
**Image 34: Paris Plains Church Exterior Masonry**

Source: Tacoma Engineers Inc.



**Image 31: Paris Plains Church**

Looking North



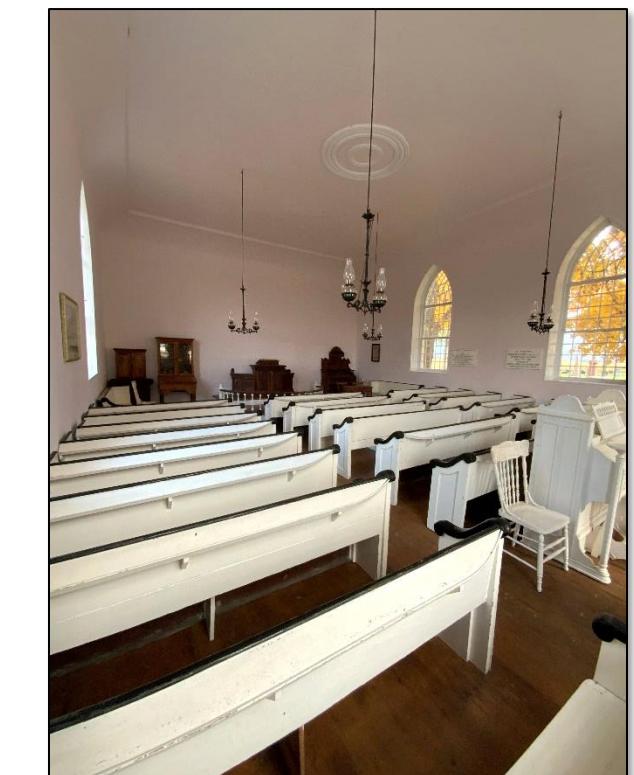
**Image 33: Close up of Varied Fieldstones**

Looking East



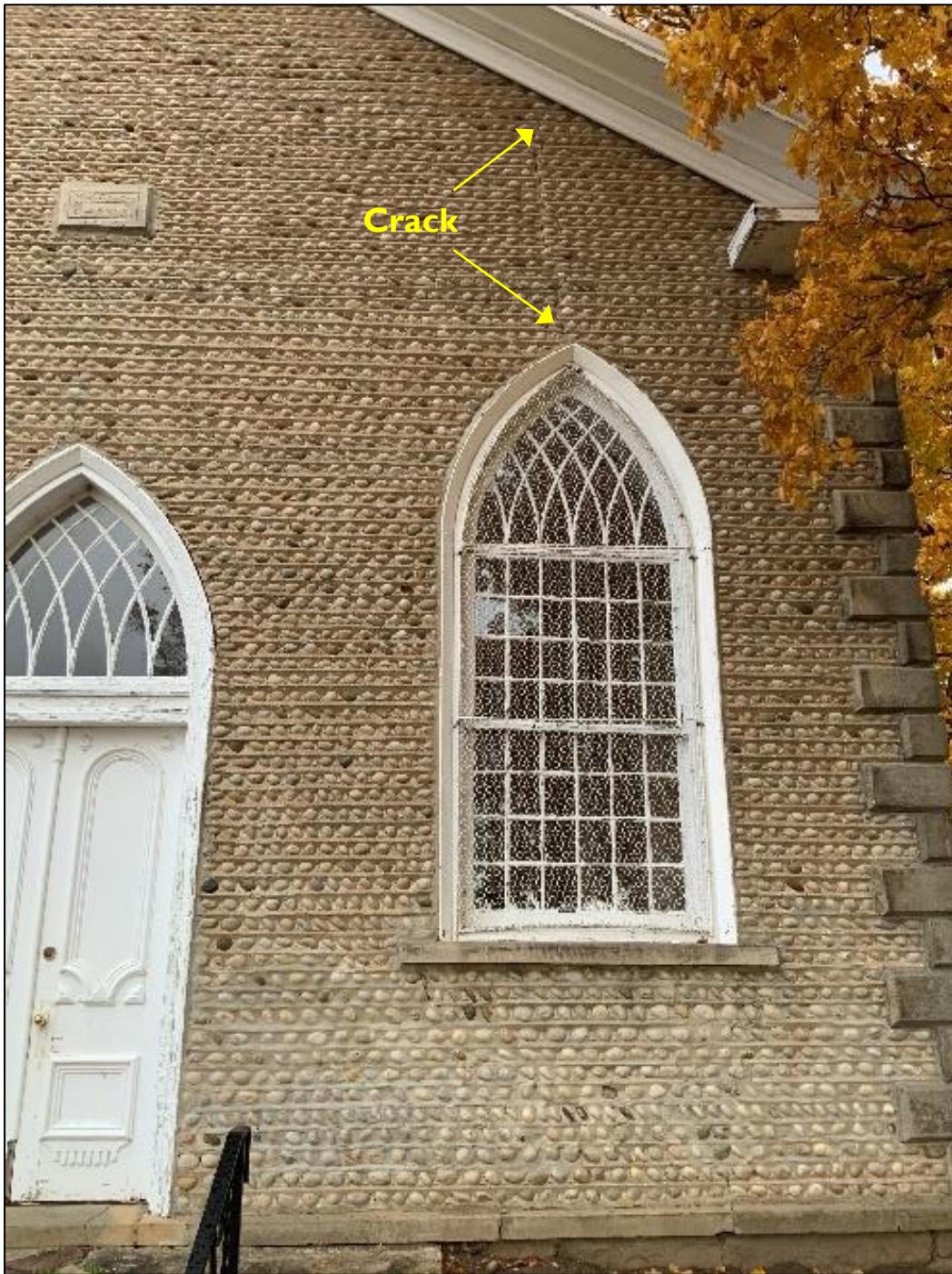
**Image 35: Paris Plains Church Chapel Interior**

Source: Tacoma Engineers Inc.



**Image 36: Paris Plains Church Exterior Masonry- Showing Crack**

Source: Tacoma Engineers Inc.



#### 4.3.3 709 Paris Plains Church Road - Maus School

Immediately adjacent to the Subject Property is the Maus School, the Paris Plains Cemetery, and the Paris Plains Church located at 705 and 709 Paris Plains Church Road. The Maus School, constructed in 1847, is the fourth of its kind in this area, with the first having been built in 1829 in one corner of what is now the cemetery (Image 37). The round windows, stone window hoods, and a multi-pane fanlight were observed. Some window panes have been smashed and masonry around the main doorway has been vandalized. The Maus School was designated under Bylaw 24-86 on August 21st, 1986.

The Condition Assessment, conducted by Tacoma Engineers, considered the interior and the exterior of the Maus School and noted that:

- the exterior brick masonry is generally in excellent condition (Image 38);
- there is localized mortar deterioration on the rear elevation where a previous building had been removed (Image 39);
- the finishes inside on the ground floor are generally in fair condition with some cracking of finishes (Image 40); and
- the basement interior is generally in fair condition (Image 41).<sup>68</sup>

**Image 37: Maus School**

Looking North



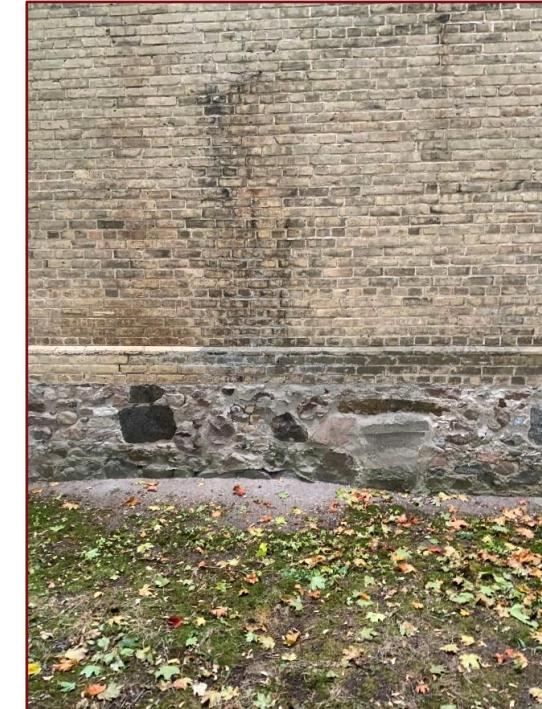
**Image 38: Maus School, Exterior Brick Masonry**

Source: Tacoma Engineers Inc.



**Image 39: Maus School, Localized Mortar Damage on North Elevation**

Source: Tacoma Engineers Inc.



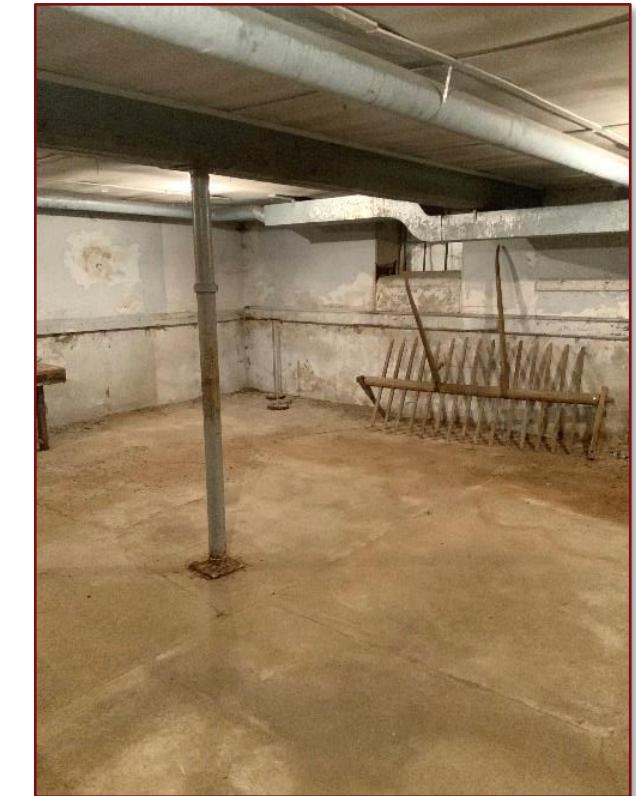
**Image 40: Maus School, Ground Floor Interior**

Source: Tacoma Engineers Inc.



**Image 41: Maus School, Basement Conditions**

Source: Tacoma Engineers Inc.



#### 4.3.4 724 Paris Plains Church Road

724 Paris Plains Church Road is adjacent to the Subject Property to the southwest, on the south side of the road. It contains a one storey residence composed of brick (Image 42). This structure is a Ranch-style house that has an emphasis on a long rectangular form with low massing. It has a side-gable orientation with a small, recessed garage attached on the east end. It appears to be in sound condition with no noticeable deterioration of brick envelope or corrugated metal roofing evident from the roadway where the property was documented.

A barn with silos is located to the southeast of the residence (Image 43). It is rectangular with a side gable orientation; however, the roof tapers into a saltbox form on part or all of the south elevation (Image 44). The roof is made up of sheet metal while the envelop appears to be painted horizontal wood siding. Ashlar face concrete block is evident on the northwest corner of the barn, suggesting it was constructed or added onto between 1900 and 1930. Two concrete silos are located north of the barn. The barn continues in an L-shape south along the west end. This elevation was not visible from the roadway. Multiple grain elevators are located southwest of the barn and are clad in metal siding. The grain elevators were added piecemeal between 2006 and 2016.

**Image 42: 724 Paris Plains Church Road with House and Shed**

Looking Southwest



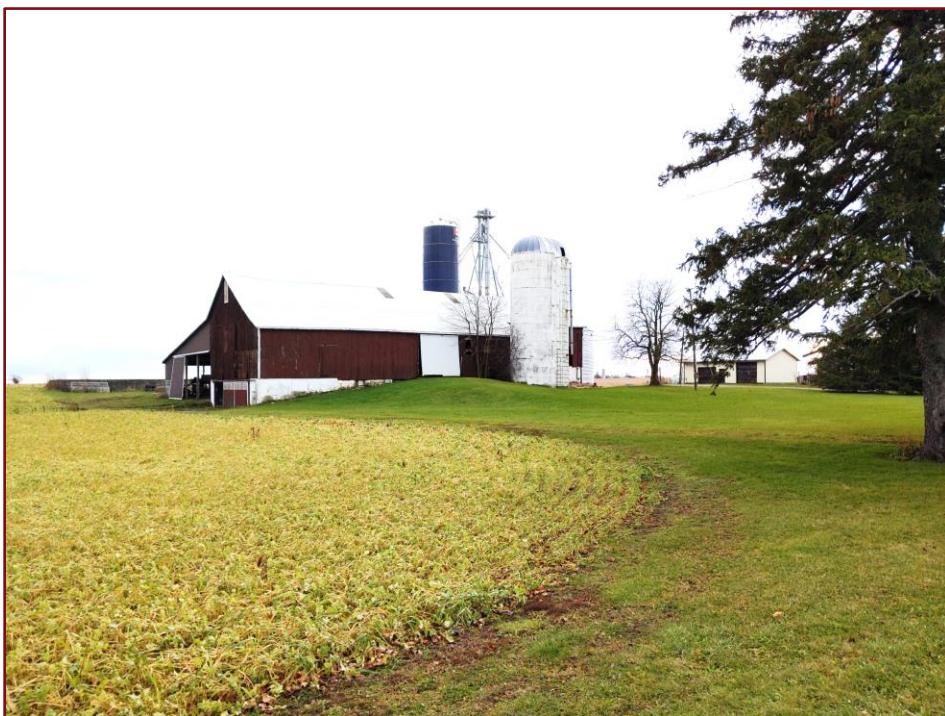
**Image 43: Barn, Silos, and Elevators at 724 Paris Plains Church Road**

Looking South



**Image 44: Barn and Silos, and Field at 724 Paris Plains Church Road**

Looking Southwest



#### 4.4.3 325 West River Road

325 West River Road is adjacent to the Subject Property to the east. It contains a house close to the roadway (Images 45-47). This structure a two-storey yellow brick residential-form building with a hipped roof with overhanging eaves and paired brackets. It has chimneys on the north, west, and south elevations. A rear addition is evident on the west and south elevations. Cut stone appears to form the foundation and brick quoins are evident on the full length of the corners. The house is a simplified representative of the farmhouse vernacular Italianate style. From the road right-of-way, it appears to be in sound condition with no noticeable deterioration of brick envelope or asphalt roofing evident from the roadway where the property was documented. A quonset hut and silos are located south of a second laneway (Image 48). This property is noted on Brant County's working inventory of properties with the potential for future heritage evaluation.

**Image 45: Residence and Laneway at 325 West River Road**

Looking Northwest



**Image 46: East Elevation of Residence at 325 West River Road**

Looking West



**Image 47: Northeast Corner of Residence at 325 West River Road**

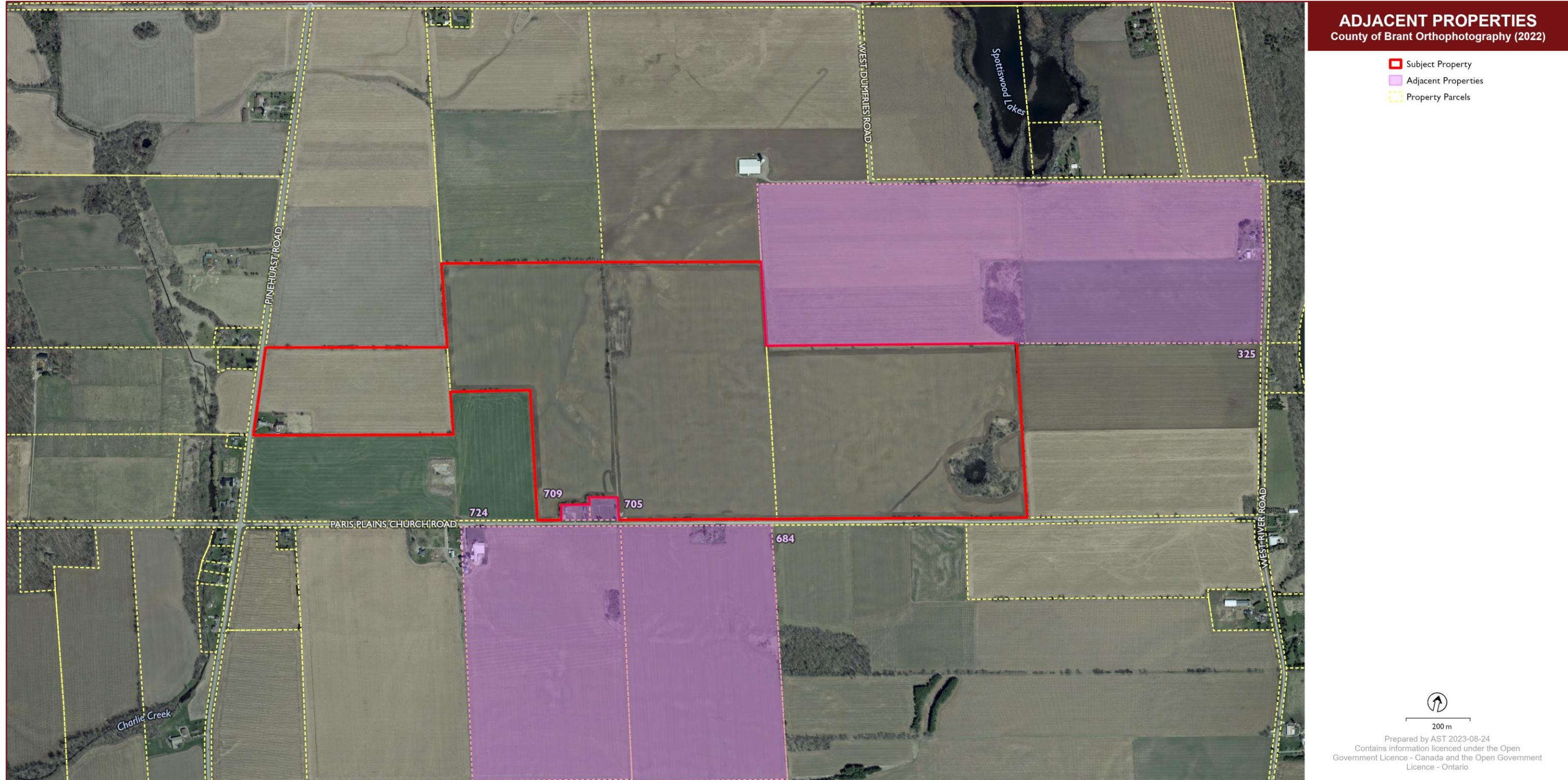
Looking North



**Image 48: Silos and Quonset Hut of Laneway at 325 West River Road**

Looking West





**Map 8: Location of Adjacent Properties**

## 4.5 Contextual Properties

This section documents contextual properties that are outside of the Study Area but within the vicinity of the Subject Property. Analysis of these structures provides context for the development and built environment of the area in which the Subject Property and the adjacent properties identified above are located.

### 4.5.1 250 West River Road

This property is located on the east side of West River Road between Paris Plains Church Road and Watts Pond Road. Of interest, it contains a barn with a rubble stone envelope that likely dates from the 1880s (Image 49).<sup>69</sup> This envelope has partially collapsed. It is representative of the varied use of stone in the local built environment of this area. Despite deterioration, this property is noted on Brant County's working inventory of properties with the potential for future heritage evaluation.

**Image 49: Northwest Corner of Stone Barn (Centre)**

Looking Southeast



<sup>69</sup> County of Brant GIS

#### 4.5.2 273 West River Road

This property is located on the west side of West River Road between Paris Plains Church Road and Watts Pond Road. This property contains a one-and-a-half storey vernacular Gothic Revival style residence with a cut stone envelope (Image 50). It was built in the early 1900s, after the barn on this property that was constructed in c. 1895.<sup>70</sup> It has a full-width verandah that wraps around the southeast corner of the building. Representative of the varied use of stone in the local built environment of this area, this property is noted on Brant County's working inventory of properties with the potential for future heritage evaluation.

##### **Image 50: East Elevation of Gothic Revival Style Residence at 273 West River Road**

Looking West



<sup>70</sup> County of Brant GIS

#### 4.5.3 286 West River Road

This property is located on the east side of West River Road at the intersection with Paris Plains Church Road. This property contains a one-and-a-half storey side-gable vernacular Georgian style farmhouse with a cut stone envelope (Image 51). It was built in c. 1865.<sup>71</sup> It has a portico with an enclosed gable. Overhanging eaves and eave returns are also evident. The front entry is flanked by a pair of 6-over-6 sash windows on either side that are capped with stone lintels. A smaller one-storey addition is located on the south elevation and appears to have been constructed contemporaneously with the main structure. It has a chimney on the south part of the roof pitch.

A rectangular barn with painted horizontal wood siding and a gambrel roof is located to the south of the residence (Image 52). A concrete silo with a domed metal roof is located to the northwest of this barn.

Representative of the varied use of stone in the local built environment and demonstrative of an intact farmhouse and agricultural landscape in this area, this property is noted on Brant County's working inventory of properties with the potential for future heritage evaluation.

#### Image 51: West Elevation of Georgian Style Stone Residence at 286 West River Road

Looking East



<sup>71</sup> County of Brant GIS

**Image 52: Barn and Silo at 286 West River Road**

Looking Northeast



#### 4.5.4 283 Pinehurst Road

This property is located on the west side of Pinehurst Road, at the southwest corner of the intersection with Paris Plains Church Road. It contains a one-and-a-half storey vernacular Gothic Revival style farmhouse with a red brick envelope and a cross-gable form. It was built in c. 1880 (Image 53).<sup>72</sup> It has a full width porch supported by paired piers. Sidelights adorn the front entry door which is flanked by paired casement windows. A round headed window capped with a round-arched window is present in the gable. Below overhanging eaves, the frieze board is decorated with dentils and pendant finials.

A cross-gable frame garage that is sympathetic in design and material to the residence was added to the north of the property between 2014 and 2016.

As a well-intact example of the Gothic Revival style, this property is noted on Brant County's working inventory of properties with the potential for future heritage evaluation.

**Image 53: 283 Pinehurst Road - East Elevation, Gothic Revival Style Farmhouse**

Looking West



<sup>72</sup> County of Brant GIS

#### 4.5.5 289 Pinehurst Road - *Maus Haus*

This property is located on the west side of Pinehurst Road, just north of Paris Plains Church Road. It contains a two-storey Georgian Revival style residence with Italianate details most notably in the eave returns and frieze board with dentils and paired brackets. It has a coursed stone envelope sourced from a local quarry (Image 54). Quoins, sills, and segmental arches with keystones appear to be limestone. It was built in 1860.<sup>73</sup> Centre mullions divide paired windows. This residence has a centre-hall plan with a central entry door with sidelights and transom light enclosed by a portico. A balcony above opens from a second storey window and is enclosed with a balustrade. This property is connected to the Maus family having been constructed for early settler to this area, John Maus. A wood paneled fence with a stone foundation encloses the property. A side gable shed with horizontal painted wood siding, a metal roof, and a stone foundation is located to the north of the residence (Image 55).

This property was designated under Part IV of the *OHA* in 1986.

**Image 54: East Elevation of Georgian Style Stone *Maus Haus* – 289 Pinehurst Road**

Looking West



<sup>73</sup> County of Brant GIS

**Image 55: East Elevation of Side Gable Shed – 289 Pinehurst Road**

Looking West



#### 4.5.6 301 Pinehurst Road

301 Pinehurst is located on the west side of Pinehurst Road between West Dumfries Road and Paris Plains Church Road. A one-storey brick residence with a porticoed entrance and glazing along the east elevation, it is indicative of later ranch-style farm dwellings in the area (Image 56). It has not been listed or designated.

**Image 56: East Elevation of 301 Pinehurst Road with a Recessed Detached Garage**

Looking West



#### 4.5.7 317 Pinehurst Road

317 Pinehurst Road is located on the west side of Pinehurst Road between West Dumfries Road and Paris Plains Church Road. It has a one-and-a-half storey Gothic Revival style cottage with a full-width porch with a shed roof and is clad in stucco (Image 57). Of note, it features a barn near the roadway that has a rectangular, side gable form and a coursed rubble stone foundation (Image 58). This barn dates from c. 1870. Representative of the varied use of stone in the local built environment of this area, as applied to the barn, this property is noted on Brant County's working inventory of properties with the potential for future heritage evaluation.

**Image 57: East Elevation of Gothic Revival Style Residence Clad in Stucco**

Looking Southeast



**Image 58: Southeast Corner of Rubble Stone Barn**

Looking Northwest



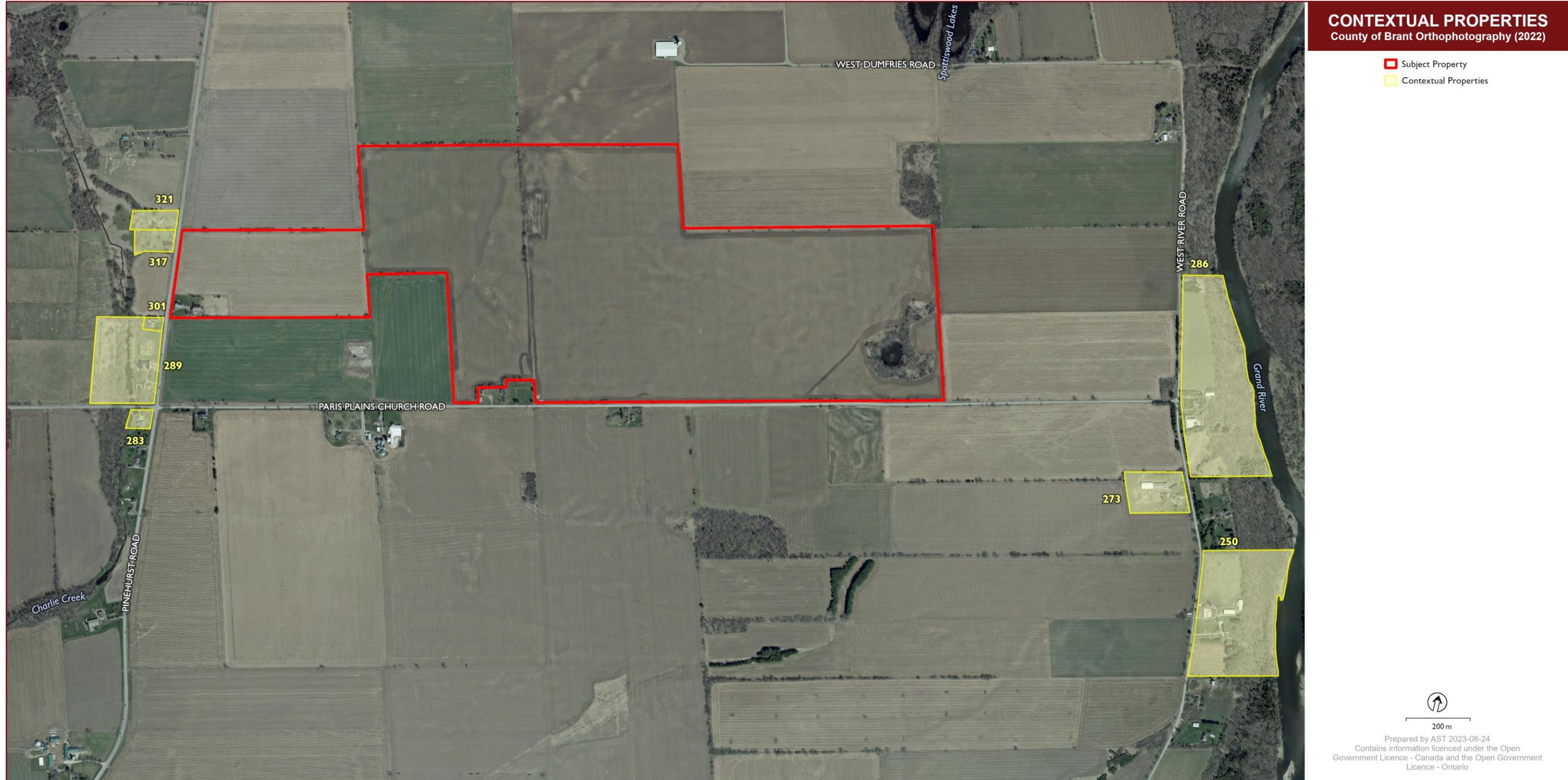
#### 4.5.8 321 Pinehurst Road

321 Pinehurst Road is located on the west side of Pinehurst Road between West Dumfries Road and Paris Plains Church Road. It is a one-and-a-half storey vernacular front gable residence with an enclosed porch sheltered by a hipped roof (Image 59). The house is clad in decorative concrete block suggesting that it was constructed in the early decades of the 20<sup>th</sup> century. Windows do not appear original. This property has not been noted on Brant County's working inventory of properties with the potential for future heritage evaluation nor is it designated.

**Image 59: East Elevation of Decorative Concrete Block Residence**

Looking West





Map 9: Location of Contextual Properties

## 5 POLICY CONTEXT

### 5.1 The Brant Count Official Plan

The County of Brant adopted an Official Plan in 2010, which was approved in 2012. While the County is currently in the process of developing a new Official Plan, the 2012 Official Plan remains in force.

One of the purposes of the Official Plan is to, “Provide policies that will protect and enhance the County’s various resources, including agriculture, aggregate, natural heritage, and built heritage, and cultural heritage landscapes (1.9.f).”<sup>74</sup>

Under Section 2.7.6.1 of the Official Plan, “Significant built heritage resources and cultural heritage shall be conserved by the County. In partnership with Federal and Provincial governments and with property owners, the County shall continue to identify built heritage resources and cultural heritage landscapes, and ensure that such resources are protected from development and site alteration, and where possible, enhanced.”<sup>75</sup>

### 5.2 Planning Act

The *Planning Act* is a piece of provincial legislation that provides stipulations for the land use planning process in Ontario, such as the identification of provincial interests and tools for the responsible management of resources including cultural heritage and archaeological resources:

2. The minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,
  - (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

Section 3 of the *Planning Act* indicates that all decisions affecting land use planning matters “shall be consistent with” the Provincial Policy Statement (PPS), a document that identifies matters of provincial interest to be considered during land use planning.

### 5.3 Provincial Policy Statement 2020 (PPS 2020)

The following sections of the PPS 2020 are relevant to the Subject Property:

Section 2.0 addresses the wise use and management of resources and sections 2.5 identifies the following relevant policies related to mineral and aggregate resource extraction:

- 2.5.2.2 Extraction shall be undertaken in a manner which minimizes social, economic, and environmental impacts.

Section 2.6 identifies the following relevant policies related to cultural heritage and archaeology:

- 2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved

<sup>74</sup> Brant County 2012

<sup>75</sup> Brant County 2012

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

Section 6.0 provides the following definitions relevant to the subject property:

- **Built heritage resource:** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.
- **Heritage attributes:** means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property).
- **Conserved:** means the identification, protection, management and use of the built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

## 5.4 Aggregate Resources Act

The Aggregate Resources Act manages aggregate operations (pits and quarries) in the province of Ontario and establishes the requirements for license and permit approvals, inspections, enforcement and penalties, and the rehabilitation of aggregate sites.

Section 2 of the Act prescribes the following purpose of the Act to:

- minimize adverse impact on the environment in respect of aggregate operations.

According to the Act, the environment is defined as “the air, land and water, or any combination or part thereof of the Province of Ontario”.

Section 3 of the Act states that in the administration of the Act, the Minister may:

- Initiate studies on environmental and social matters related to pits and quarries.

Under the Aggregate Resources Act, Regulation 244/97 requires the production of technical reports, including a Cultural Heritage Report, as part of an application for a Class A license, Class B license, or aggregate permit. Section 0.2 (4) of Regulation 244/97 states the following:

- An applicant for license, aggregate permit or wayside permit shall provide such technical reports and information as are required under “Aggregate Resources of Ontario: Technical Reports and Information Standards”, dated August 2020 published by the Ministry O. Reg 466/20 s. 2 (1); and
- The technical reports and information shall be prepared in accordance with the standards for how such reports and information shall be prepared set out in *Aggregate Resources in Ontario: Technical Reports and Information Standards*. O. Reg. 466/20 s. 2 (1).

## 5.5 Ontario Heritage Act (OHA 2005)

The *OHA* provides a framework for municipalities in Ontario to ensure the conservation of properties with cultural heritage value or interest, including through the capacity to designate heritage properties:

29 (1) The council of a municipality may, by by-law, designate a property within the municipality to be of cultural heritage value or interest if:

- (a) where criteria for determining whether property is of cultural heritage value or interest have been prescribed, the property meets the prescribed criteria; and
- (b) the designation is made in accordance with the process set out in this section.

Under the *OHA*, O.Reg. 9/06 (as amended by O.Reg. 569/22) provides the criteria for determining a property's cultural heritage value or interest:

(3) In respect of a property for which a notice of intention to designate it is given under subsection 29 (1.1) of the Act on or after the day subsection 3 (2) of Schedule 6 to the *More Homes Built Faster Act, 2022* comes into force, the property may be designated under section 29 of the Act if it meets two or more of the criteria for determining whether it is of cultural heritage value or interest set out in paragraphs 1 to 9 of subsection 1 (2).

Designated properties appear on a municipality's register of heritage properties:

27 (1) The clerk of a municipality shall keep a register of property situated in the municipality that is of cultural heritage value or interest.

This register also may include so-called listed properties:

27(3) In addition to the property listed in the register under subsection (2) [designated properties], the register may include property that has not been designated under this Part if,

- (a) the council of the municipality believes the property to be of cultural heritage value or interest; and
- (b) where criteria for determining whether property is of cultural heritage value or interest have been prescribed for the purposes of this subsection, the property meets the prescribed criteria.



Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

According to Part V of the OHA, a municipality may also undertake studies regarding (OHA s.40), designate (OHA s.40), and develop plans for (OHA s.41) heritage conservation districts (HCDs). These are areas of heritage significance composed of multiple properties.

Part VI of the OHA addresses the protection of archaeological resources.

As of January 2023, at least 25% of properties within the proposed HCD must meet two or more of the O.Reg. 9/06 criteria (as amended by O.Reg. 569/22).

The O.Reg. 9/06 (as amended by O.Reg. 569/22) is listed and applied to the Subject Property in Section 6 of the report.

## 5.6 Standards and Guidelines for the Conservation of Historic Places in Canada (2010)

Parks Canada produced the *Standards & Guidelines for the Conservation of Historic Places in Canada* to provide guidance to governments, property owners, developers, and heritage practitioners across the country. This document outlines the conservation decision process and establishes pan-Canadian conservation principles.

## 6 EVALUATION AGAINST O.REG. 9/06 CRITERIA

According to correspondence from Brant County, the parcels comprising the Subject Property are not listed on Brant County's working inventory of properties, and it has not been designated under Part IV or Part V of the OHA. However, the Subject Property is adjacent to 705 and 709 Paris Plains Church Road which contains three cultural heritage resources designated under Part IV of the OHA:

- Maus School, c. 1847 (Bylaw 24-86A);
- Paris Plains Cemetery, c. 1813 (Bylaw 84-23); and
- Paris Plains Church (West Dumfries Chapel), c. 1845 (Bylaw 24-86).

The Subject Property is also adjacent to 325 West River Road which is noted on Brant County's working inventory of properties with the potential for future heritage evaluation. Cultural heritage inventories for the aforementioned properties, including preliminary evaluation of 325 West River Road under O.Reg. 9/06 (as amended by O.Reg. 569/22), are located in Appendix B. The O.Reg. 9/06 (as amended by O.Reg. 569/22) criteria was also applied to the already designated Maus School, Paris Plains Cemetery and Paris Plains Church within these inventory sheets due to the age of their designating bylaw and to help guide subsequent heritage impact assessments.

Based on the research summarized in Section 3, the following tables consider the Subject Property with respect to the OHA's Ontario Regulation 9/06: *Criteria for Determining Cultural Heritage Value or Interest* (as amended by O. Reg. 569/22). A property may be designated under Section 29 of the OHA if it meets two or more of the following criteria for determining cultural heritage value or interest. Table 1 considers the CHVI of 699 Paris Plains Church Road under O.Reg. 9/06 (as amended by O.Reg. 569/22) and Table 2 considers the CHVI of 304 Pinehurst Road under O.Reg. 9/06 (as amended by O.Reg. 569/22).

**Table 1: 699 Paris Plains Church Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response  |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method. | No; While the Subject Property at 699 Paris Plains Church Road once had a historic farmhouse and barn located along the border of Lot 26 and Lot 27, that has since been demolished were demolished in c. 2014. Remnants of the former structures, including the well, are not significant enough to demonstrate a rare, unique, representative, or early example of a style, type, expression, material or construction method. |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; there are no features on the Subject Property that display a high degree of craftsmanship or artistic merit.   |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; there are no features on the Subject Property that demonstrate a high degree of technical or scientific achievement.   |
| 4. The property has historical value or associative value because it has direct associations with a   | No; while the historic farmhouse and barn on the Subject Property at 699 Paris Plains Church Road,   |



**Cultural Heritage Evaluation Report & Heritage Impact Assessment**  
**Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON**

| <b>Criterion</b>   | <b>Summary of Response</b>  |
|--|---|
| theme, event, belief, person, activity, organization or institution that is significant to a community.  | associated with prominent Maus family of South Dumfries Township and Brant County, has been demolished with no visible remnants.  |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                    | No; the farmstead complex on the Subject Property has been demolished therefore it does not yield or have the potential to yield information that contributes to an understanding of the agricultural and farmstead history of the property.  |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community. | No; the Subject Property is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community.  |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.  | No; the part of the Subject Property located at 699 Paris Plains Church Road is a former farmstead complex that has been demolished and therefore no longer defines, maintains, or supports the agricultural and rural character of the area.   |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.  | No; the part of the Subject Property at 699 Paris Plains Church Road is devoid of its farmhouse and barn, which has removed its physical, functional, visual, and historical linkages to its surroundings.  |
| 9. The property has contextual value because it is a landmark.   | No; while there is a wetland in the east parcel of the Subject Property, these features are common in the area, and while the Subject Property is adjacent to the Paris Plains Church and Cemetery and the Maus School, the Subject Property itself is not a visual landmark, and it is not currently known or believed to meet this criterion as a community landmark. |

Based on the research and analysis summarized in this CHER, the Subject Property's central and east portions were not found to meet the O.Reg. 9/06 Criteria (as amended by O. Reg. 569/22).

It is acknowledged that archaeological sites have been discovered in the east portion of the Subject Property and are undergoing required mitigations under a separate archaeological process.

**Table 2: 304 Pinehurst Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response  |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.                             | Yes; the part of the Subject Property at 304 Pinehurst Road demonstrates an increasingly rare example of top-cut round log joists applied in the basement of an otherwise extensively renovated mid-19 <sup>th</sup> century house.<br><br>Furthermore, the barn on this property is an increasingly rare example of a bank barn that was once common to the area. It displays an intact fieldstone foundation with limestone mortar and old growth wood including interior round log rafters, and hand-hewn interior beams, knee braces and purlins, etc. Exterior shiplap and board-and-batten siding have been impacted by the removal and salvage of some portions of siding on the south and west elevations. |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; while the top-cut round log joists are relatively rare, they were commonplace at the time of their construction. Thus, the part of the Subject Property at 304 Pinehurst Road does not display a high degree of craftsmanship or artistic merit.   |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; while the top-cut round log joists are relatively rare, they do not demonstrate a high degree of technical or scientific achievement relative to what is typical for this typology.  |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | Yes; the part of the Subject Property at 304 Pinehurst Road containing extant farmhouse and barn demonstrates an intact farmstead property that was also connected to the Maus family. This western part of Subject Property provides an intact association to this family that is of significance to the Township and County.   |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                     | No; while the western part of the Subject Property has retained its farmstead composition, it is not known to yield information that contributes to an understanding of a community or culture. The farmhouse has been significantly altered and the bank barn is a relatively common form found throughout the county.  |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.  | No; the part of the Subject Property at 304 Pinehurst Road is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community.   |



**Cultural Heritage Evaluation Report & Heritage Impact Assessment**  
**Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON**

| <b>Criterion</b>  | <b>Summary of Response</b>   |
|---|--|
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.     | Yes; the part of the Subject Property at 304 Pinehurst Road contains a relatively intact farmstead complex, despite substantial alterations to the farmhouse and the removal of portions of shiplap and barnboard from the north and west elevations of the barn. It helps to support the agricultural and rural character of the area as it relates to the prominence of the Maus family along Paris Plains Church Road and Pinehurst Road.                 |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. | Yes; the western portion of the Subject Property comprising 304 Pinehurst Road, is physically, visually, and historically linked to the nearby Maus School, Paris Plains Church and Cemetery, and the residence of John Maus (289 Pinehurst Road). Considered with these intact properties, the western part of the Subject Property provides a connection to this early family and their formative contributions to the agricultural landscape of the area. |
| 9. The property has contextual value because it is a landmark.  | No; while this part of the Subject Property is located near the Paris Plains Church and Cemetery and the Maus School, the property itself is not a visual landmark, and it is not currently known or believed to meet this criterion as a community landmark.  |

Based on the research and analysis summarized in this CHER, the Subject Property's west portions was found to meet the O.Reg. 9/06 Criteria (as amended by O. Reg. 569/22) for its design or physical value, historical or associative value, and contextual value.

## 7 STATEMENT OF CULTURAL HERITAGE VALUE

The Subject Property comprises part of Lot 1, West of Grand River, Concession 4, and part of Lots 26 and 27, 28, and 29, Concession 4, in the Former Geographic Township of South Dumfries, Brant County. The Subject Property can be divided up into eastern, central and western areas. The Subject Property's west portion at 304 Pinehurst Road was found to meet the O.Reg. 9/06 Criteria (as amended by O. Reg. 569/22) for its design or physical value, historical or associative value, and contextual value.

The property at 304 Pinehurst Road is approximately 15.5 ha (38.3 ac) in size and is located on part of Lot 28 and Lot 29, Concession 4. It is bordered by Pinehurst Road to the west and part of the central portion of 699 Paris Plains Church Road to the east. The property features an intact farmstead complex comprising a 19<sup>th</sup> century farmhouse and barn. These structures are historically associated with the Maus family, a prominent local family in South Dumfries Township and Brant County.

While the main and upper storeys of the house have been significantly altered, the interior of the basement contains an increasingly rare example of top-cut round log joists. Furthermore, the adjacent barn is an increasingly rare example of a bank barn, a design that was once common to the area. It displays an intact fieldstone foundation with limestone mortar and old growth wood, including round log rafters, and hand-hewn interior beams, knee braces and purlins. The exterior features shiplap and board-and-batten siding that is largely intact.

The intact farmstead contributes to the agricultural and rural character of the area, particularly as it relates to the Maus family. The farmstead is physically, visually, and historically linked to the nearby Maus School, Paris Plains Church and Cemetery, and the residence of John Maus (289 Pinehurst Road).

### 7.1 Heritage Attributes

The heritage attributes of property at 304 Pinehurst Road on the Subject Property include:

- Top-cut round log joists with bark in the basement of the farmhouse;
- Fieldstone foundation and limestone mortar of bank barn;
- Old growth wood of barn including shiplap siding with board-and-batten sections, interior round log rafters, and hand-hewn interior beams, knee braces and purlins, etc.;
- Historical/associative value of farmstead complex to prominent local Maus family; and
- Contextual value as an intact 19<sup>th</sup> century farmstead and by virtue of its association to the Maus family with historical connections to the nearby Maus School, Paris Plains Church and Cemetery, and the residence of John Maus (289 Pinehurst Road).

## 8 DESCRIPTION OF PROPOSED DEVELOPMENT

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Miller Aggregates is proposing the development of a new aggregate pit on their property located at 699 Paris Plains Church Road and 304 Pinehurst Road in Brant County, Ontario. The proposed aggregate pit will operate in five distinct phases commencing at the east end of the Subject Property (Phase 1) and continuing westward towards the western portion of the property (Phase 5). Buffering has been factored in between the area to be licensed and the extraction limits on the property (Map 10).

A preferred access route has been determined. The proposed access road and internal haul route will commence at the western perimeter of the property (Pinehurst Road) and run eastward along the northern boundary of the parcel at 304 Pinehurst Road before diverting northeast where it will again carry eastwards towards the Phase 1 area (Maps 10-11). This access point was determined so that turning lanes associated with the aggregate operations on Pinehurst Road, would not impact the residential properties on the west side of Pinehurst Road, south of the access road. Additionally, the location of the preferred access road avoids any potential impacts to the properties at 705 and 709 Paris Plains Church Road (the designated Paris Plains Cemetery, Paris Plains Church, and Maus School).

Plans will be guided by the recommendations found in the HIA. The use of high impact equipment (e.g., pile drivers and explosives) will not occur.

The assessment is a requirement of the Aggregate Resources Act, Regulation 244/97 which requires the production of technical reports, including a Cultural Heritage Report, as part of an application for a Class A license, Class B license, or aggregate permit.



**Map 10: Operational Phases of the Proposed Aggregate Pit on the Subject Property**

(Courtesy of Miller Aggregates)



**Map 11: Proposed Access Road from Pinehurst Road onto Subject Property**

(Courtesy of Miller Aggregates)

## SUBJECT PROPERTY



**Map 12: Subject Property at 699 Paris Plains Church Road and 304 Pinehurst Road, Brant, ON**

## 9 IMPACT ASSESSMENT

According to the MCM's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*:

Any impact (direct or indirect, physical or aesthetic) of the proposed development or site alteration on a cultural heritage resource must be identified. The effectiveness of any proposed conservation or mitigative or avoidance measures must be evaluated on the basis of established principles, standards and guidelines for heritage conservation.

The following table includes an assessment of the proposed development against the types of potential impacts identified in *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*. Any identified potential impacts should be addressed by mitigation measures, as discussed below.

The following types of potential impacts are outlined in *InfoSheet #5*:

- **Destruction** of any, or part of any, significant heritage attributes or features;
- **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- **Isolation** of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect **obstruction** of significant views or vistas within, from, or of built and natural features;
- A **change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances** such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource; and
- **Other** potential impacts.

| Negative impact on a heritage resource   | Assessment for the Subject Property   |
|--|---|
| <b>Destruction of any, or part of any, significant heritage attributes or features;</b>  | <p>No; the proposed aggregate pit will not cause the destruction of any, or part of any, significant heritage attributes or features.</p> <p>The proposed access road from Pinehurst Road will not destroy any heritage attributes on the Subject Property.</p>   |
| <b>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;</b>  | <p>No; the proposed aggregate pit will not involve any alteration that is not sympathetic or incompatible with the historic fabric and appearance of the property.</p> <p>The proposed access road from Pinehurst Road will not alter the historic fabric or appearance of the Subject Property.</p>  |
| <b>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;</b>                          | <p>No; the proposed aggregate pit will not create shadows that alter the appearance of heritage attributes or change the viability of natural features or plantings.</p> <p>The creation of an access road from Pinehurst Road will not cause shadows that alter the appearance of heritage attributes.</p>   |
| <b>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;</b>  | <p>No; the proposed aggregate pit will not isolate a heritage attribute from its surrounding environment, context or a significant relationship.</p> <p>The creation of an access road from Pinehurst Road will not isolate a heritage attribute from its surrounding environment, context or a significant relationship. Properties contextually linked to 304 Pinehurst Road are located south of the proposed access road.</p>   |
| <b>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;</b>   | <p>No; no significant views or vistas within, from, or of built and natural features will be obstructed by the proposed aggregate pit nor by the creation of an access road from Pinehurst Road.</p>  |
| <b>A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces</b> | <p>Yes; the proposed aggregate pit will result in a temporary change of land use from agricultural land to land for aggregate extraction and the development of a related access road and internal haul route.</p>  |
| <b>Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource; or;</b>                              | <p>Yes; Stage 1 and 3 Archaeological Assessments have been completed by TMHC and required mitigation measures are being implemented through the archaeological assessment process.</p>  |
| <b>Other potential impacts.</b>  | <p>Yes; impact is dependent upon the selection of access routes onto the Subject Property. The proposed access road to the property is from Pinehurst Road, north of the extant farmhouse and barn at 304 Pinehurst Road. Accordingly, vibration of heavy truck traffic and activities associated with an active aggregate site may cause potential direct and indirect impacts to the farmhouse and barn given that the proposed access road is approximately 30 m north of these structures.</p> <p>There are also potential direct and indirect impacts to the designated properties immediately adjacent to the development site. Activities associated with an active aggregate site may cause potential impacts to heritage resources on 705 and 709 Paris Plains Road. No impacts are anticipated to 325 West River Road as the access route will not cross this property and structures are located over 700 m from the Subject Property.</p> |

Table 3: 699 Paris Plains Road and 304 Pinehurst Road Impact Assessment

## 10 CONSIDERED MITIGATION STRATEGIES

As detailed in Section 8, the proponent has proposed the development of an aggregate pit on the property at 699 Paris Plains Church Road. While an evaluation of the Subject Property against the O.Reg. 9/06 criteria (as amended by O. Reg. 569/22) concluded that 699 Paris Plains Church Road did not meet the criteria, 304 Pinehurst Road, which comprises the western portion of the property, was found to meet the O.Reg. 9/06 criteria (as emended by O. Reg. 569/22) for its design value or physical value, historical or associative value, and contextual value. Furthermore, it is acknowledged that archaeological resources within the eastern portion of the property are being mitigated through a separate archaeological assessment process.

Potential direct/indirect impacts to adjacent built and cultural heritage relates to the placement of the access roads required to develop and service the aggregate pit, the creation and erection of operational features such as berms and fences, and other activities associated with the creation, day-to-day operation, and rehabilitation of the aggregate pit. This HIA was developed, in part, to inform the decision regarding access roads specifically. Potentially impacted areas include the west portion of the Subject Property, composed of 304 Pinehurst Road, and the adjacent properties at 705 and 709 Paris Plains Church Road.

### 10.1 Mitigation Strategies for Potential Impacts

#### 10.1.1 *Operation and Access Route Mitigations for 304 Pinehurst Road*

To ensure there are no impacts to the structures located at 304 Pinehurst Road as a result of aggregate extraction and the operation of the pit, TMHC recommends the following mitigation strategies be implemented on the Aggregate Resources Act Site Plan:

- a. A 30 m setback shall be implemented from the house and the barn to the internal haul route and entrance/exit onto Pinehurst Road to mitigate potential direct and indirect impacts caused by the vibration of heavy truck traffic and activities associated with an active aggregate site; and
- b. A row of evergreen trees shall be planted to fill in the existing hedgerow located about 30 m north of the house and barn. These plantings will provide a sound buffer and visual screening of the access road.

Although 325 West River Road is listed on Brant County's working inventory of heritage properties, as eastern access routes are not being considered, the property will not be directly/indirectly impacted.

#### 10.1.2 *Pit Construction, Operation and Access Route(s) Mitigations for 705 and 709 Paris Plains Church Road*

A condition assessment provided by Tacoma Engineers identified that the nature and construction of the buildings at 705 and 709 Paris Plains Church Road makes them particularly vulnerable to the impacts of a working aggregate pit. Constructed with unreinforced masonry, the buildings are susceptible to movement, deflection and vibration, as they lack reliable tensile reinforcement. Vibrations can allow for unrestrained widening of cracks or openings in the structure.<sup>76</sup>



Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

The assessment has identified existing cracking in the masonry above the window openings of the main (south) elevation of the church (705 Paris Plains Church Road).<sup>77</sup> The heavy equipment and activities involved with soil moving and extraction have the potential to exacerbate this existing damage, and to create new structural damage.

To ensure there are no impacts to the structures located at 705 and 709 Paris Plains Church Road as a result of aggregate extraction and the operation of the pit, TMHC recommends the following mitigation strategies be implemented on the Aggregate Resources Act Site Plan:

- a. Locate the internal haul route from Pinehurst Road exit/entrance to the processing plant on the east side of Pinehurst Road, north of the property at 304 Pinehurst Road. This location will negate any potential impacts to the identified structures, including unintended movement and damage to the buildings, and cumulative damage caused by the vibration of heavy traffic;
- b. Prior to site stripping and berm construction, erosion and sediment control fencing shall be installed along the north property boundary of 705 and 709 Paris Plains Church Road, on the south side of the berm, and shall be removed once the berm is constructed and self-sustaining vegetation has been established;
- c. Ground and surface water monitoring shall occur as recommended in Maximum Predicted Water Table Report (MTE, November 2023); and
- d. The elective vibration monitoring recommended and illustrated in the Vibration Assessment (Aercoustics, November 2023) shall be implemented during berm construction.

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<sup>77</sup> Tacoma Engineers Inc. 2022:15

## II CONCLUSION

The property at 699 Paris Plains Church Road and 304 Pinehurst Road is the site of a proposed aggregate pit. An HIA was conducted to assess potential impacts to identified heritage attributes from the proposed aggregate pit and will help guide forthcoming decisions related to access, staging, the installation of berms and/or other anticipated installation, extraction operations and rehabilitation activities that could affect these properties.

Evaluation of the property at 699 Paris Plains Church Road against the O.Reg. 9/06 criteria (as amended by O. Reg. 569/22) concluded that the Subject Property does not meet the criteria. However, the proposed project has the potential to cause direct and/or indirect impacts to the heritage value adjacent properties at 305 and 309 Paris Plains Church Road (the designated Paris Plains Cemetery, Paris Plains Church, and Maus School), and 304 Pinehurst Road. Archaeological resource mitigations are also being implemented for sites within the eastern portion of the Subject Property; these are being addressed through the archaeological assessment process.

The research and analysis of the HIA has determined that the proposed aggregate pit, through implementation, operations, and rehabilitation has the potential to impact adjacent heritage resources. The choice of location for access roads is of particular concern.

To ensure there are no impacts to the structures located at 304 Pinehurst Road, and 705 and 709 Paris Plains Church Road as a result of aggregate extraction and the operation of the pit, TMHC recommends the following mitigation strategies be implemented on the Aggregate Resources Act Site Plan:

- 304 Pinehurst Road
  - a. A 30 m setback shall be implemented from the house and the barn to the internal haul route and entrance/exit onto Pinehurst Road to mitigate potential direct and indirect impacts caused by the vibration of heavy truck traffic and activities associated with an active aggregate site; and
  - b. A row of evergreen trees shall be planted to fill in the existing hedgerow located about 30 m north of the house and barn. These plantings will provide a sound buffer and visual screening of the access road.
- 705 and 709 Paris Plains Church Road
  - a. Locate the internal haul route from Pinehurst Road exit/entrance to the processing plant on the east side of Pinehurst Road, north of the property at 304 Pinehurst Road. This location will negate any potential impacts to the identified structures, including unintended movement and damage to the buildings, and cumulative damage caused by the vibration of heavy traffic;
  - b. Prior to site stripping and berm construction, erosion and sediment control fencing shall be installed along the north property boundary of 705 and 709 Paris Plains Church Road, on the south side of the berm, and shall be removed once the berm is constructed and self-sustaining vegetation has been established;
  - c. Ground and surface water monitoring shall occur as recommended in Maximum Predicted Water Table Report (MTE, November 2023); and



**Cultural Heritage Evaluation Report & Heritage Impact Assessment  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON**

- d. The elective vibration monitoring shall occur as recommended and illustrated in the Vibration Assessment (*Aercoustics, November 2023*) shall be implemented during berm construction.

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Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

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## APPENDIX A: SCREENING CHECKLIST

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Ministry of Tourism,  
Culture and Sport  
Programs & Services Branch  
401 Bay Street, Suite 1700  
Toronto ON M7A 0A7

## Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes A Checklist for the Non-Specialist

The **purpose of the checklist** is to determine:

- if a property(ies) or project area:
  - is a recognized heritage property
  - may be of cultural heritage value
- it includes all areas that may be impacted by project activities, including – but not limited to:
  - the main project area
  - temporary storage
  - staging and working areas
  - temporary roads and detours

**Processes covered** under this checklist, such as:

- *Planning Act*
- *Environmental Assessment Act*
- *Aggregates Resources Act*
- *Ontario Heritage Act* – Standards and Guidelines for Conservation of Provincial Heritage Properties

### Cultural Heritage Evaluation Report (CHER)

If you are not sure how to answer one or more of the questions on the checklist, you may want to hire a qualified person(s) (see page 5 for definitions) to undertake a cultural heritage evaluation report (CHER).

The CHER will help you:

- identify, evaluate and protect cultural heritage resources on your property or project area
- reduce potential delays and risks to a project

### Other checklists

Please use a separate checklist for your project, if:

- you are seeking a Renewable Energy Approval under Ontario Regulation 359/09 – separate checklist
- your Parent Class EA document has an approved screening criteria (as referenced in Question 1)

Please refer to the Instructions pages for more detailed information and when completing this form.



**Cultural Heritage Evaluation Report & Heritage Impact Assessment**  
**Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON**

Project or Property Name

**Proposed Gravel Pit - 699 Paris Plains Church Road and 304 Pinehurst Road**

Project or Property Location (upper and lower or single tier municipality)

**Former Geographic Township of South Dumfries, Brant County**

Proponent Name

**The Miller Group**

Proponent Contact Information

**Ken Zimmerman (ken.zimmerman@millergroup.ca)**

**Screening Questions**

| Yes | No |
|-----|----|
|-----|----|

1. Is there a pre-approved screening checklist, methodology or process in place?

**If Yes**, please follow the pre-approved screening checklist, methodology or process.

**If No**, continue to Question 2.

**Part A: Screening for known (or recognized) Cultural Heritage Value**

| Yes | No |
|-----|----|
|-----|----|

2. Has the property (or project area) been evaluated before and found **not** to be of cultural heritage value?

**If Yes**, do **not** complete the rest of the checklist.

The proponent, property owner and/or approval authority will:

- summarize the previous evaluation and
- add this checklist to the project file, with the appropriate documents that demonstrate a cultural heritage evaluation was undertaken

The summary and appropriate documentation may be:

- submitted as part of a report requirement
- maintained by the property owner, proponent or approval authority

**If No**, continue to Question 3.

| Yes | No |
|-----|----|
|-----|----|

3. Is the property (or project area):

- identified, designated or otherwise protected under the *Ontario Heritage Act* as being of cultural heritage value?
- a National Historic Site (or part of)?
- designated under the *Heritage Railway Stations Protection Act*?
- designated under the *Heritage Lighthouse Protection Act*?
- identified as a Federal Heritage Building by the Federal Heritage Buildings Review Office (FHBRO)?
- located within a United Nations Educational, Scientific and Cultural Organization (UNESCO) World Heritage Site?

**If Yes** to any of the above questions, you need to hire a qualified person(s) to undertake:

- a Cultural Heritage Evaluation Report, if a Statement of Cultural Heritage Value has not previously been prepared or the statement needs to be updated

If a Statement of Cultural Heritage Value has been prepared previously and if alterations or development are proposed, you need to hire a qualified person(s) to undertake:

- a Heritage Impact Assessment (HIA) – the report will assess and avoid, eliminate or mitigate impacts

**If No**, continue to Question 4.



**Cultural Heritage Evaluation Report & Heritage Impact Assessment**  
**Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON**

**Part B: Screening for Potential Cultural Heritage Value**

|   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| 4. Does the property (or project area) contain a parcel of land that:                         |                                     |                                     |
| a. is the subject of a municipal, provincial or federal commemorative or interpretive plaque? | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. has or is adjacent to a known burial site and/or cemetery?                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| c. is in a Canadian Heritage River watershed?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| d. contains buildings or structures that are 40 or more years old?                            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

**Part C: Other Considerations**

|  | Yes                                 | No                                  |
|--|-------------------------------------|-------------------------------------|
| 5. Is there local or Aboriginal knowledge or accessible documentation suggesting that the property (or project area):                            |                                     |                                     |
| a. is considered a landmark in the local community or contains any structures or sites that are important in defining the character of the area? | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. has a special association with a community, person or historical event?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| c. contains or is part of a cultural heritage landscape?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

If **Yes** to one or more of the above questions (Part B and C), there is potential for cultural heritage resources on the property or within the project area.

You need to hire a qualified person(s) to undertake:

- a Cultural Heritage Evaluation Report (CHER)

If the property is determined to be of cultural heritage value and alterations or development is proposed, you need to hire a qualified person(s) to undertake:

- a Heritage Impact Assessment (HIA) – the report will assess and avoid, eliminate or mitigate impacts

If **No** to all of the above questions, there is low potential for built heritage or cultural heritage landscape on the property.

The proponent, property owner and/or approval authority will:

- summarize the conclusion
- add this checklist with the appropriate documentation to the project file

The summary and appropriate documentation may be:

- submitted as part of a report requirement e.g. under the *Environmental Assessment Act, Planning Act* processes
- maintained by the property owner, proponent or approval authority



# Cultural Heritage Evaluation Report & Heritage Impact Assessment

## Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

### Instructions

Please have the following available, when requesting information related to the screening questions below:

- a clear map showing the location and boundary of the property or project area
  - large scale and small scale showing nearby township names for context purposes
- the municipal addresses of all properties within the project area
- the lot(s), concession(s), and parcel number(s) of all properties within a project area

For more information, see the Ministry of Tourism, Culture and Sport's Ontario Heritage Toolkit or Standards and Guidelines for Conservation of Provincial Heritage Properties.

In this context, the following definitions apply:

- **qualified person(s)** means individuals – professional engineers, architects, archaeologists, etc. – having relevant, recent experience in the conservation of cultural heritage resources.
- **proponent** means a person, agency, group or organization that carries out or proposes to carry out an undertaking or is the owner or person having charge, management or control of an undertaking.

### 1. Is there a pre-approved screening checklist, methodology or process in place?

An existing checklist, methodology or process may already be in place for identifying potential cultural heritage resources, including:

- one endorsed by a municipality
- an environmental assessment process e.g. screening checklist for municipal bridges
- one that is approved by the Ministry of Tourism, Culture and Sport (MTCS) under the Ontario government's Standards & Guidelines for Conservation of Provincial Heritage Properties [s.B.2.]

### Part A: Screening for known (or recognized) Cultural Heritage Value

### 2. Has the property (or project area) been evaluated before and found not to be of cultural heritage value?

Respond 'yes' to this question, if all of the following are true:

A property can be considered not to be of cultural heritage value if:

- a Cultural Heritage Evaluation Report (CHER) - or equivalent - has been prepared for the property with the advice of a qualified person and it has been determined not to be of cultural heritage value and/or
- the municipal heritage committee has evaluated the property for its cultural heritage value or interest and determined that the property is not of cultural heritage value or interest

A property may need to be re-evaluated, if:

- there is evidence that its heritage attributes may have changed
- new information is available
- the existing Statement of Cultural Heritage Value does not provide the information necessary to manage the property
- the evaluation took place after 2005 and did not use the criteria in Regulations 9/06 and 10/06

**Note:** Ontario government ministries and public bodies [prescribed under Regulation 157/10] may continue to use their existing evaluation processes, until the evaluation process required under section B.2 of the Standards & Guidelines for Conservation of Provincial Heritage Properties has been developed and approved by MTCS.

To determine if your property or project area has been evaluated, contact:

- the approval authority
- the proponent
- the Ministry of Tourism, Culture and Sport

### 3a. Is the property (or project area) identified, designated or otherwise protected under the *Ontario Heritage Act* as being of cultural heritage value e.g.:

#### i. designated under the *Ontario Heritage Act*

- individual designation (Part IV)
- part of a heritage conservation district (Part V)

#### Individual Designation – Part IV

A property that is designated:

- by a municipal by-law as being of cultural heritage value or interest [s.29 of the *Ontario Heritage Act*]
- by order of the Minister of Tourism, Culture and Sport as being of cultural heritage value or interest of provincial significance [s.34.5]. **Note:** To date, no properties have been designated by the Minister.

#### Heritage Conservation District – Part V

A property or project area that is located within an area designated by a municipal by-law as a heritage conservation district [s. 41 of the *Ontario Heritage Act*].

For more information on Parts IV and V, contact:

- municipal clerk
- Ontario Heritage Trust
- local land registry office (for a title search)

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ii. subject of an agreement, covenant or easement entered into under Parts II or IV of the *Ontario Heritage Act*

An agreement, covenant or easement is usually between the owner of a property and a conservation body or level of government. It is usually registered on title.

The primary purpose of the agreement is to:

- preserve, conserve, and maintain a cultural heritage resource
- prevent its destruction, demolition or loss

For more information, contact:

- Ontario Heritage Trust - for an agreement, covenant or easement [clause 10 (1) (c) of the *Ontario Heritage Act*]
- municipal clerk – for a property that is the subject of an easement or a covenant [s.37 of the *Ontario Heritage Act*]
- local land registry office (for a title search)

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iii. listed on a register of heritage properties maintained by the municipality

Municipal registers are the official lists - or record - of cultural heritage properties identified as being important to the community.

Registers include:

- all properties that are designated under the *Ontario Heritage Act* (Part IV or V)
- properties that have not been formally designated, but have been identified as having cultural heritage value or interest to the community

For more information, contact:

- municipal clerk
- municipal heritage planning staff
- municipal heritage committee

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iv. subject to a notice of:

- intention to designate (under Part IV of the *Ontario Heritage Act*)
- a Heritage Conservation District study area bylaw (under Part V of the *Ontario Heritage Act*)

A property that is subject to a **notice of intention to designate** as a property of cultural heritage value or interest and the notice is in accordance with:

- section 29 of the *Ontario Heritage Act*
- section 34.6 of the *Ontario Heritage Act*. **Note:** To date, the only applicable property is Meldrum Bay Inn, Manitoulin Island. [s.34.6]

An area designated by a municipal by-law made under section 40.1 of the *Ontario Heritage Act* as a **heritage conservation district study area**.

For more information, contact:

- municipal clerk – for a property that is the subject of notice of intention [s. 29 and s. 40.1]
- Ontario Heritage Trust



# Cultural Heritage Evaluation Report & Heritage Impact Assessment

## Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

v. included in the Ministry of Tourism, Culture and Sport's list of provincial heritage properties

Provincial heritage properties are properties the Government of Ontario owns or controls that have cultural heritage value or interest.

The Ministry of Tourism, Culture and Sport (MTCS) maintains a list of all provincial heritage properties based on information provided by ministries and prescribed public bodies. As they are identified, MTCS adds properties to the list of provincial heritage properties.

For more information, contact the MTCS Registrar at [registrar@ontario.ca](mailto:registrar@ontario.ca).

### **3b. Is the property (or project area) a National Historic Site (or part of)?**

National Historic Sites are properties or districts of national historic significance that are designated by the Federal Minister of the Environment, under the *Canada National Parks Act*, based on the advice of the Historic Sites and Monuments Board of Canada.

For more information, see the National Historic Sites website.

### **3c. Is the property (or project area) designated under the *Heritage Railway Stations Protection Act*?**

The *Heritage Railway Stations Protection Act* protects heritage railway stations that are owned by a railway company under federal jurisdiction. Designated railway stations that pass from federal ownership may continue to have cultural heritage value.

For more information, see the Directory of Designated Heritage Railway Stations.

### **3d. Is the property (or project area) designated under the *Heritage Lighthouse Protection Act*?**

The *Heritage Lighthouse Protection Act* helps preserve historically significant Canadian lighthouses. The Act sets up a public nomination process and includes heritage building conservation standards for lighthouses which are officially designated.

For more information, see the Heritage Lighthouses of Canada website.

### **3e. Is the property (or project area) identified as a Federal Heritage Building by the Federal Heritage Buildings Review Office?**

The role of the Federal Heritage Buildings Review Office (FHBRO) is to help the federal government protect the heritage buildings it owns. The policy applies to all federal government departments that administer real property, but not to federal Crown Corporations.

For more information, contact the Federal Heritage Buildings Review Office.

See a directory of all federal heritage designations.

### **3f. Is the property (or project area) located within a United Nations Educational, Scientific and Cultural Organization (UNESCO) World Heritage Site?**

A UNESCO World Heritage Site is a place listed by UNESCO as having outstanding universal value to humanity under the Convention Concerning the Protection of the World Cultural and Natural Heritage. In order to retain the status of a World Heritage Site, each site must maintain its character defining features.

Currently, the Rideau Canal is the only World Heritage Site in Ontario.

For more information, see Parks Canada – World Heritage Site website.

## **Part B: Screening for potential Cultural Heritage Value**

### **4a. Does the property (or project area) contain a parcel of land that has a municipal, provincial or federal commemorative or interpretive plaque?**

Heritage resources are often recognized with formal plaques or markers.

Plaques are prepared by:

- municipalities
- provincial ministries or agencies
- federal ministries or agencies
- local non-government or non-profit organizations

For more information, contact:

- municipal heritage committees or local heritage organizations – for information on the location of plaques in their community
- Ontario Historical Society's Heritage directory – for a list of historical societies and heritage organizations
- Ontario Heritage Trust – for a list of plaques commemorating Ontario's history
- Historic Sites and Monuments Board of Canada – for a list of plaques commemorating Canada's history

**4b. Does the property (or project area) contain a parcel of land that has or is adjacent to a known burial site and/or cemetery?**

For more information on known cemeteries and/or burial sites, see:

- Cemeteries Regulations, Ontario Ministry of Consumer Services – for a database of registered cemeteries
- Ontario Genealogical Society (OGS) – to locate records of Ontario cemeteries, both currently and no longer in existence; cairns, family plots and burial registers
- Canadian County Atlas Digital Project – to locate early cemeteries

In this context, adjacent means contiguous or as otherwise defined in a municipal official plan.

**4c. Does the property (or project area) contain a parcel of land that is in a Canadian Heritage River watershed?**

The Canadian Heritage River System is a national river conservation program that promotes, protects and enhances the best examples of Canada's river heritage.

Canadian Heritage Rivers must have, and maintain, outstanding natural, cultural and/or recreational values, and a high level of public support.

For more information, contact the Canadian Heritage River System.

If you have questions regarding the boundaries of a watershed, please contact:

- your conservation authority
- municipal staff

**4d. Does the property (or project area) contain a parcel of land that contains buildings or structures that are 40 or more years old?**

A 40 year 'rule of thumb' is typically used to indicate the potential of a site to be of cultural heritage value. The approximate age of buildings and/or structures may be estimated based on:

- history of the development of the area
- fire insurance maps
- architectural style
- building methods

Property owners may have information on the age of any buildings or structures on their property. The municipality, local land registry office or library may also have background information on the property.

**Note:** 40+ year old buildings or structure do not necessarily hold cultural heritage value or interest; their age simply indicates a higher potential.

A building or structure can include:

- residential structure
- farm building or outbuilding
- industrial, commercial, or institutional building
- remnant or ruin
- engineering work such as a bridge, canal, dams, etc.

For more information on researching the age of buildings or properties, see the Ontario Heritage Tool Kit Guide Heritage Property Evaluation.



## Cultural Heritage Evaluation Report & Heritage Impact Assessment Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

### **Part C: Other Considerations**

#### **5a. Is there local or Aboriginal knowledge or accessible documentation suggesting that the property (or project area) is considered a landmark in the local community or contains any structures or sites that are important to defining the character of the area?**

Local or Aboriginal knowledge may reveal that the project location is situated on a parcel of land that has potential landmarks or defining structures and sites, for instance:

- buildings or landscape features accessible to the public or readily noticeable and widely known
- complexes of buildings
- monuments
- ruins

#### **5b. Is there local or Aboriginal knowledge or accessible documentation suggesting that the property (or project area) has a special association with a community, person or historical event?**

Local or Aboriginal knowledge may reveal that the project location is situated on a parcel of land that has a special association with a community, person or event of historic interest, for instance:

- Aboriginal sacred site
- traditional-use area
- battlefield
- birthplace of an individual of importance to the community

#### **5c. Is there local or Aboriginal knowledge or accessible documentation suggesting that the property (or project area) contains or is part of a cultural heritage landscape?**

Landscapes (which may include a combination of archaeological resources, built heritage resources and landscape elements) may be of cultural heritage value or interest to a community.

For example, an Aboriginal trail, historic road or rail corridor may have been established as a key transportation or trade route and may have been important to the early settlement of an area. Parks, designed gardens or unique landforms such as waterfalls, rock faces, caverns, or mounds are areas that may have connections to a particular event, group or belief.

For more information on Questions 5.a., 5.b. and 5.c., contact:

- Elders in Aboriginal Communities or community researchers who may have information on potential cultural heritage resources. Please note that Aboriginal traditional knowledge may be considered sensitive.
- municipal heritage committees or local heritage organizations
- Ontario Historical Society's "Heritage Directory" - for a list of historical societies and heritage organizations in the province

An internet search may find helpful resources, including:

- historical maps
- historical walking tours
- municipal heritage management plans
- cultural heritage landscape studies
- municipal cultural plans

Information specific to trails may be obtained through Ontario Trails.

## APPENDIX B: INVENTORY OF EXISTING CONDITIONS

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## 684 Paris Plains Church Road (PAR-01)



**Secondary Address(es):** None

**Designation/Listing Status:** None

**Date of Construction:** Pre-1916

**Typology:** Residential/Agricultural

**Description:** This residential and agricultural property is located on Paris Plains Church Road between Pinehurst Road and West River Road. The residence consists of a one-and-a-half-storey frame house with horizontal vinyl or aluminum siding. It has a side-gable, centre-hall profile. The centre entry door is covered by a shed roof supported with wrought iron porch columns. It is flanked by two windows that are adorned with shutters. A concrete chimney is located on the east end of the roof pitch. A one storey structure is attached to the rear of the house.

A wood barn with a sliding door is located to the southwest of the house. It has vertical wood cladding and a corrugated metal roof. A laneway leads in a U-shape to and from the barn to the roadway. The residential part of the property, which is approximately 0.78 ha (1.93 ac) is surrounded by agricultural fields to the east, south, and west.

**Historical Associations:** The property lies on Lot 26, Concession 3, in the Former Geographic Township of South Dumfries, Brant County and was occupied in the mid-19<sup>th</sup> century by Alexander Anderson who received the north 100 acres from William Dickson through an indenture. William Dickson sold the south half of Lot 26 to Robert Dickson who in turn sold it to William Kitchen in 1844. By 1851, Kitchen possessed 100 acres with 44 under crops and 66 under pasture.

In 1864, through a release of dower, Daniel Alexander Anderson received the north 100 acres from Alexander, as his heir at law. Anderson also occupied neighbouring Lot 3 West of Grand River, Concession 3 and the north half of Lot 2 West of Grand River, Concession 3. Anderson was born in Monroe County, New York on April 2, 1805. He came to Canada with his parents, Daniel and Catharine Anderson in 1825. In 1834, Daniel Jr. married Christina McPherson who was born in Genesee County, New York in 1811. Daniel Jr. was the County Warden for two terms and served for eight years as the Township Reeve and two years as Deputy Reeve.

Daniel and his wife then issued a mortgage of \$1500 to Silas Wright Cook who released this in 1867 before another was issued for \$2500. The house on this property may have been constructed as a property for lease at this time. This mortgage was released in 1872 before another was issued for \$4000 in which it was released two years later.

Anderson then sold the north half of Lot 26 to Samuel Kingsburgh (Kingsbury) in 1874 who then sold it to Thomas Stewart in 1880. Stewart then sold this land to William, Eliza, and Isabelle McKee six years later. The three sold the north half to Jacob Kelley in 1911. Eight years later they granted this land to Orville Vansickle and William M. Vanderly. Through a release of equity redemption, Mary Beer received the north half in 1833 and granted it to Sanford Hutty in 1836. The property appears to have remained in the Hutty family until at least 1963.

A rectangular barn structure, which was oriented parallel to Paris Plains Church Road, was located to the west of the house and extant barn. It was demolished by 1976.

**Table 4: 684 Paris Plains Church Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response   |
|---|---|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.                             | No; while the residence on the property appears to date to the late 19 <sup>th</sup> century, the property lacks architectural integrity and does not appear to have any distinct style which is rare, unique, representative or early. |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; the property does not display a high degree of craftsmanship or artistic merit.   |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; the property does not demonstrate a high degree of technical or scientific achievement relative to what is typical for this typology.   |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | No; while the property is representative of a continuation of settlement patterns in South Dumfries Township, it is not indicative of any direction associations that are significant to the Township or Brant County.                  |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                     | No; the property is not likely to yield information that contributes to an understanding of a community or culture.   |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.  | No; the property is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community.  |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.   | No; as a modest farmstead complex in a rural setting relative to other more prominent examples in the vicinity, the property is not important in defining, maintaining, or supporting the character of the area.                        |

| Criterion   | Summary of Response  |
|---|--|
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. | No; the property is not connected to the surrounding farmsteads as a rural setting and is not functionally, visually or historically linked to the surrounding farmsteads in this manner.                                  |
| 9. The property has contextual value because it is a landmark.  | No; as a modest residential property in a rural setting, relative to others in the vicinity, the property is not a visual landmark, and is not currently known or believed to meet this criterion as a community landmark. |

**Potential Cultural Heritage Value:** As a modest 19<sup>th</sup> century farmstead property, it is not likely to hold significant cultural heritage value or interest.

**Sources:** 1954 Air Photos of Southern Ontario; Department of Energy, Mines and Resources (1968, 1976); Department of Militia and Defence (1916, 1921); Department of National Defence (1928, 1934, 1940); Google Earth (1985, 2009, 2013, 2014, 2016, 2017, 2018, 2019); Kitchener - Brantford Area, 1966; Page and Smith 1875.

**Residence and Barn from Near Paris Plains Church Road and Property Laneway**

Looking Southeast



**View of Residence and Barn from North Side of Paris Plains Church Road**

Looking South



## 705 Paris Plains Church Road – Cemetery (PAR-02)



**Secondary Address(es):** None

**Designation/Listing Status:** Designated (Part IV OHA; By-law 84-23)

**Date of Construction:** c. 1813

**Typology:** Cemetery

**Description:** This cemetery is located on Paris Plains Church Road between Pinehurst Road and West River Road. It is located to the east of the Maus School and the Paris Plains Church. The cemetery is about 0.75 ha (1.88 ac) in size. It is accessible via a grass and dirt laneway on the northside of Paris Plains Church Road. The south and west sides of the cemetery are enclosed by chain link fence while the east side has a wood post and wire fence. There is no fence along the north perimeter. Trees line the perimeter haphazardly. Currently there is an agricultural field to the north of the cemetery. The laneway to the Subject Property is located along the eastern border of the cemetery. Headstones are positioned to the east.

**Historical Associations:** The property is historically part of the southern half of Lot 27, Concession 4 which was owned by William Dickson. Abraham Shade received the north half of the south half of Lot 27 through an indenture in 1826. He later sold this to Jarius Maus in 1839.<sup>78</sup> The Maus family arrived to Brant County in 1818 via New York State. Meanwhile, Dixon sold the south quarter of Lot 27 to Dorman Maus in 1837 with the exception of the land allocated for the cemetery. Dorman then sold this to Henry V.S. Maus in 1854 who in turn sold this and the north half of the south half of Lot 27 to John Maus. John then sold the north half of the south half of Lot 27 to Jarius Maus in 1862.<sup>79</sup> Through his will, his family received the north half of the south half of Lot 27 and the east half of the south half of the south half of this lot, as well as other lands, in June 1873.

In 1878, Henry S. Maus sold part of the southeast quarter of Lot 27 to the Trustees of the Public Cemetery. John Henry Maus and his wife sold the southwest quarter of the south half of Lot 27 (25 ac) and other lands to Philip Kelley in 1909. Then a year later, Maus and his wife sold the north portion of the south half and the east portion of the south half of Lot 27 to William Morris in 1910. Morris and his wife then sold the north portion of the south half and the east portion of the south half of the south half of Lot 27 and other lands to

<sup>78</sup> OnLand

<sup>79</sup> OnLand

John B. Hutty in 1913. Hutty then sold this land to Solomon Frank in July 1917 who sold it to James Mordue in September of that year.

Through an indenture in 1837, Henry V.S. Maus received 300 acres which included the south half of Lot 26 (100 ac) and the west 100 ac of Lot 1 West of Grand River, Concession 1. Henry and his wife then sold this land and 225 ac of this land to Jarius Maus in 1851. Through his will, his family received the south half of Lot 26 and other lands in June 1873. A mortgage appears to have been granted to John H. Maus in 1891 for \$8,000 for the south half of said lot and other lands.

The south half of Lot 26 was sold outside the Maus family in 1910 when John Henry Maus and his wife sold it to William Morris and his wife. In this decade, it exchanges hands frequently, moving from Morris and his wife to John B. Hutty in 1913, from Hutty to Solomon Frank in July 1917 then from Frank and his wife to James E. Mordue in September 1917. Mordue and others then granted the south half of this lot to Reginald T. and Marjorie E. Coombs in 1954.

The existence of the Paris Plains Church Cemetery may date back to 1813, according to the County of Brant. Land for the cemetery is noted to have been given by William Dickson. Dickson owned land throughout North and South Dumfries. This allocation seemingly predicated the settling of the Maus family in South Dumfries Township as Henry V.S. Maus and his family had not relocated to the township until 1824. An extant headstone dates to 1833. The cemetery land was purchased from Henry V.S. Maus alongside land for the school and chapel, which amounted to two or three acres in total.

The Paris Plains Cemetery was designated under Part IV of the OHA in 2023 By-law 84-23.

**Table 5: 705 Paris Plains Church Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response   |
|---|---|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method. | No; although the Paris Plains Cemetery is directly associated with the Paris Plains Church which is indicative of rare and unique cobblestone coursed masonry that is significant to Brant County as it is not found elsewhere in the province outside of this region, the cemetery itself does not demonstrate a rare, unique, representative, or early example of its kind. |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; while the Paris Plains Cemetery is linked to the Paris Plains Church which displays the use of cobblestone masonry courses which are directly influenced by Levi Boughton who emigrated from New York to Brant County, the cemetery itself does not display a high degree of craftsmanship or artistic merit.   |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; the property does not demonstrate a high degree of technical or scientific achievement relative to what is typical for this typology.   |
| 4. The property has historical value or associative value because it has direct associations with a   | Yes; this property is representative of the settlement of Methodists in Brant County including  |

| Criterion  | Summary of Response  |
|--|--|
| theme, event, belief, person, activity, organization or institution that is significant to a community.  | the Maus family, as well as the nearby Latshaws and LaPierres.   |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                    | Yes; the property yields information about the settlement patterns in this area of South Dumfries Township contributing to an understanding of this community.   |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community. | No; while the Paris Plains Cemetery is linked to the Paris Plains Church which displays the use of cobblestone masonry courses which are directly influenced by Levi Boughton who emigrated from New York to Brant County, the cemetery itself is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community. |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.  | Yes; as a known cemetery in the area, the property is important in defining, maintaining, or supporting the character of the area.   |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.  | Yes; this property is directly linked to the adjacent Paris Plains Church as well as to the Subject Property. As such, the property is physically, functionally, visually, or historically linked to its surroundings.   |
| 9. The property has contextual value because it is a landmark.   | Yes; as a well-known cemetery in Brant County, the property is a visual landmark, and is currently known to meet this criterion as a community landmark being a property designated under Part IV of the OHA.  |



**Potential Cultural Heritage Value:** This property has been designated under Part IV of the OHA.

By-law 84-23 provides the following Reason Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

**Sources:** 1954 Air Photos of Southern Ontario; County of Brant n.d.; County of Brant Public Library; Department of Energy, Mines and Resources (1968, 1976); Department of Militia and Defence (1916, 1921); Department of National Defence (1928, 1934, 1940); Kitchener - Brantford Area, 1966; Page and Smith 1875; Webster 1961.

**BY-LAW NUMBER 84-23**

- of -

**THE CORPORATION OF THE COUNTY OF BRANT**

To designate the Paris Plains Cemetery (705 Paris Plains Church Road)  
under Part IV of the Ontario Heritage Act.

**WHEREAS** a request was made by the Paris Plains Cemetery Association ("PPCA") in May 2022 for the County of Brant Heritage Committee to evaluate the Paris Plains Cemetery for designation under the Ontario Heritage Act;

**AND WHEREAS** under the authority of the Ontario Heritage Act, R.S.O. 1990, Chapter O.18, as amended, the Council of a municipality may, by by-law, designate any property under Part IV of the Ontario Heritage Act to be of cultural heritage value or interest;

**AND WHEREAS** an evaluation of the property was completed in July 2022 by the Municipal Heritage Committee in accordance with the criteria established under Ontario Regulation 9/06, to determine cultural heritage value or interest of the property;

**AND WHEREAS** staff report RPT-0524-22, presented to and endorsed by Council in December 2022, confirmed that the property meets the prescribed criteria and directed that notice of intention to designate the property be given;

**AND WHEREAS** notice of intention to designate was served on the property owner, the Ontario Heritage Trust and published in the Brantford Expositor in May 2023, and no objection to the notice of intention to designate have been served within the 30-day period;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE COUNTY OF  
BRANT HEREBY ENACTS** as follows:

1. **THAT** the property municipally known as 705 Paris Plains Church Road and further described in Schedule 'A' – "Description of Property" attached hereto, be hereby added to the municipal register, being designated under Part IV of the *Ontario Heritage Act* as a property of cultural heritage value and interest.
2. **AND THAT** the reasons for designation be as set out in Schedule 'B' – "Statement of Cultural Heritage Value or Interest" attached hereto.
3. **AND THAT** the key heritage attributes contributing to the property's cultural heritage value which shall be retained be as set out in Schedule 'C' – "Description of Heritage Attributes" and Schedule 'D' – "Cemetery Map and Significant Features"



4. **AND THAT** the County of Brant register a copy of this By-Law, together with its schedules, against the title of the subject lands in the Land Registry Office (LRO 2)
5. **AND THAT** this By-Law shall come into force on the day it is passed by the Council of the Corporation of the County of Brant.

**READ** a first and second time, this 25<sup>th</sup> day of July 2023.

**READ** a third time and finally passed in Council, this 25<sup>th</sup> day of July 2023.

**THE CORPORATION OF THE COUNTY OF BRANT**

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David Bailey, Mayor

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Alysha Dijach, Clerk



**Schedule 'A' - Description of Property**

Paris Plains Cemetery, 705 Paris Plains Church Road (PIN 320290040)

The Paris Plains Cemetery is an active pioneer cemetery located on a property adjacent to the Maus Schoolhouse (Designating By-Law 24-86A) and the Paris Plains Church (Designating By-Law 24-86A). The 0.61-hectare (1.51 acre) property comprises grave markers, monuments, and mature trees.

The property is legally described as Part of Lot 27, Concession 4, in the geographic township of South Dumfries.

### **Schedule B – Statement of Cultural Heritage Value or Interest**

The Paris Plains Cemetery is a property of cultural heritage value or interest located within the County of Brant. The cemetery is a representative example of a 19th century cemetery designed in the rural cemetery style and is linked to the history of Paris Plains Church and of Paris itself. Many of the individuals buried in the cemetery were significant local individuals who contributed greatly to the early development of the community. The property holds significant religious, spiritual, and emotional value to residents of the County of Brant whose family members have been buried and continue to be buried within the cemetery. As a place of memory, the cemetery provides a physical connection to the past and to loved ones on both a personal and community level. The Paris Plains Cemetery property has been evaluated for its cultural heritage value or interest under the prescribed criteria of Ontario Regulation 9/06, as included below.

#### **Design and Physical Value**

The Paris Plains Cemetery has design and physical value and, in conjunction with the neighbouring school and church, is a representative example of a designed cultural heritage landscape. The Cemetery itself is a 19th century church cemetery, influenced by the rural cemetery style that originated in England. Typical of Ontario cemeteries of this era, it contains a variety of grave markers and monuments which document the many changes in burial practices from the 19th to 21st centuries. These changes are demonstrated in the material, shape, design, size, construction techniques and location of the markers. The cemetery includes early and examples of headstones, as well as many monuments which display unique craftsmanship. The monuments provide insight into the individuals who are honoured in the cemetery through their inscriptions and symbols which speak to family history, occupation, religion, and affiliations. The size and intricacy of details on the grave markers reveal information about the person's place and status within the community. These gravestones play a role in the grieving process by providing a tangible connection to those who have passed and the history of the area. The property also has heritage value from its landscape features of mature trees and other plantings that have been intentionally planted or have developed naturally over many decades. These elements contribute to a scenic space that supports the community through the experiences of loss, grief, and commemoration.

#### **Historical and Associative Value**

The Paris Plains Cemetery has cultural heritage value for its direct associations with the Paris Plains Church, one of the first religious institutions established by European settlers in Paris. The creation of the cemetery was a significant achievement for the growing Church and met an important need for parishioners. The cemetery is also directly associated with the early settlement of the community. Many individuals who played a significant role in the development of the County of Brant are interred in this cemetery, including some of the first European settlers. Key historical burials include:

| Name        | Description   |
|-------------|---|
| Maus Family | Interred here are many members of the Maus family who were early settlers of this area, emigrating from New York State, after being displaced by war. Henry Maus (1782-1857) grew up in New York State and married Aurilla Bunnell (1785-1858) and immigrated to Upper Canada in 1817. They had eight children and their son Lewis who died in 1828 has the oldest tombstone at the cemetery. As a leader in the community, Maus would host bible study and community gatherings in his home. He donated the land where today we find Maus (Paris Plains) School, Church, and Cemetery. The settlement was once called Maus Plains. |

|                      |  |
|----------------------|--|
| War of 1812 Veterans | There are three War of 1812 Veterans buried on the property: Solomon Markle, Abraham Markle, and Christian Muma, each has a gravestone accompanied by a granite memorial plaque to help identify them.   |
| LaPierre             | Early settlers in the community included the LaPierres. On the grounds, there's a large LaPierre monument with several family members' names listed on it. The LaPierres were well connected with the Maus family, many people in the cemetery can be traced back to these two central families.         |
| Boughton             | There is a family member of Levi Boughton, the master mason who brought the cobblestone architecture technique to the County of Brant. Boughton is credited with the work of the 11 houses and 2 churches of cobblestone construction still standing in around Paris, including the Paris Plains Church. |

The property holds information about these individuals that contributes to the understanding of the community, as well as the Paris Plains Church. In addition to its historical significance, the property has direct associations with the theme of burial practices in Ontario as well as the religious, spiritual and social beliefs surrounding death and the afterlife. These beliefs and practices are not only personal but are also part of larger cultural traditions and religious institutions.

#### **Contextual Value**

The property is connected to the Paris Plains Church property, which is a well-known local landmark, easily visible along Paris Plains Road. The properties that house the Paris Plains Church, Maus School, and Paris Plains Cemetery and their surroundings are part of a cultural heritage landscape that remains physically, visually, and historically linked to its rural surroundings. The cemetery is one of the first community cemeteries, as before the practice was to bury loved ones on the family farm.



**Schedule C – Description of Heritage Attributes**

The key heritage attributes for the property are derived from the values described in Schedule B. These attributes, in addition to the attributes of the Paris Plains Church and Maus School contribute to the overall cultural heritage value and significance of the cultural heritage landscape, and include regard to:

- its defined geographical area which has been modified by human activity;
- its placement in a rural setting; and
- the relationship between the property's topography, natural elements, and hardscaping features, including its variety of monuments, markers, and structures.

Key built heritage attributes include the monuments and markers, including fragments of monuments and markers, which contribute to Paris Plains Cemetery's cultural heritage value and significance include:

- age of many of the grave markers;
- range of size and sophistication, from modest to elaborate;
- surviving inscriptions;
- variety of styles, materials and symbolism represented;
- location and orientation;
- shape and form, including decorative elements; and
- various construction methods and techniques.

Key geographic, natural and hardscaping attributes which contribute to Paris Plain Cemetery's overall cultural heritage value and significance include its:

- views and vistas from within the cemetery; and
- placement and variety of mature trees and other vegetation.

**Implications of the Heritage Designation on the Heritage Attributes**

The heritage designation of this property is intended to provide protection to the listed attributes to ensure that changes to the property are appropriately managed. Such activities as relocation of original markers and removal of mature trees (without replacement) will require heritage permits.

The attributes of the property that are excluded from designation:

- Any past or future interred human remains
- The chain link fence surrounding the property

The attributes of the property that are specifically included in the designation have been illustrated on Schedule D – Cemetery Map and Significant Features to assist with the implementation of the provisions of this By-Law.

The *Funeral, Burial and Cremation Services Act* contains specific procedures for the closure (i.e. removal) of cemeteries if the Registrar of cemeteries determines that the closure is "in the public interest." These provisions apply to all cemeteries in Ontario including those that have been designated under the Ontario Heritage Act. It is not the intent of this designation to impede any requirements of the *Funeral, Burial and Cremation Services Act*.



**Schedule D – Cemetery Map and Significant Features**

|  |  |
|--|--|
| <p><b>Significant Natural and Landscape Features</b></p> |   |
| <p><b>Significant Monuments</b></p>                      |  |

**Cemetery from Southwest Corner**

Looking Northeast



**Southeast Corner of Cemetery from Adjacent Laneway**

Looking Northwest



**Cemetery from North Side**

Looking Southeast

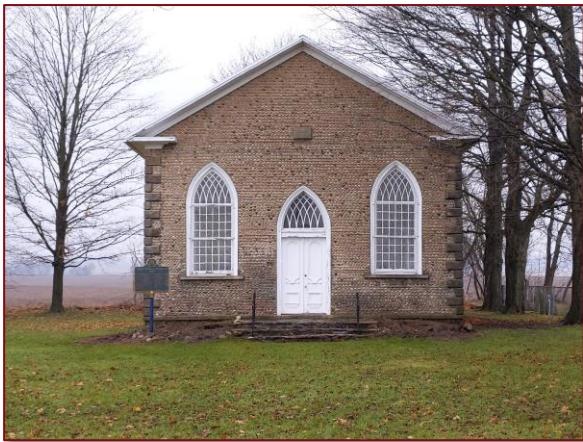


**Cemetery and Paris Plains Church**

Looking Southwest



## 709 Paris Plains Church Road – Paris Plains Church (PAR-03)



**Secondary Address(es):** None

**Designation/Listing Status:** Designated (Part IV OHA; By-Law 24-86A)

**Date of Construction:** 1845

**Typology:** Religious – Church

**Description:** This church is located on Paris Plains Church Road between Pinehurst Road and West River Road. It is located between the Maus School, to the west, and the Paris Plains Cemetery, to the east. It is a one-storey cobblestone building, three-bays wide, with a front gable form perpendicular to Paris Plains Church Road. Its envelope is composed of cobblestone courses of local oval-shaped fieldstone.

Stylistically, the building has a front gable form with eave returns and a roof of galvanized steel panels. It features rusticated quoins and multi-light pointed Gothic Revival windows and transom light. The entry doors are composed of wood and have decorative paneling. They are flanked by a window on either side. A date stone is located centrally along the gable line. The foundation is constructed of random course fieldstone. Overall, there is an emphasis on symmetry in this simple form.

**Historical Associations:** The property is historically part of the southern half of Lot 27, Concession 4 which was owned by William Dickson. Abraham Shade received the north half of the south half of Lot 27 through an indenture in 1826. He later sold this to Jarius Maus in 1839.<sup>80</sup> Meanwhile, Dixon sold the south quarter of Lot 27 to Dorman Maus in 1837 with the exception of the land allocated for the cemetery. Dorman then sold this to Henry V.S. Maus in 1854 who in turn sold this and the north half of the south half of Lot 27 to John Maus. John then sold the north half of the south half of Lot 27 to Jarius Maus in 1862.<sup>81</sup> Through his will, his family received the north half of the south half of Lot 27 and the east half of the south half of the south half of this lot, as well as other lands, in June 1873.

In 1878, Henry S. Maus sold part of the southeast quarter of Lot 27 to the Trustees of the Public Cemetery. John Henry Maus and his wife sold the southwest quarter of the south half of Lot 27 (25 ac) and other lands to Philip Kelley in 1909. Then a year later, Maus and his wife sold the north half of the south half and the east half of the south half of Lot 27 to William Morris in 1910. Morris and his wife then sold the north half of the

<sup>80</sup> OnLand

<sup>81</sup> OnLand

south half and the east half of the south half of the south half of Lot 27 and other lands to John B. Hutty in 1913. Hutty then sold this land to Soloman Frank in July 1917 who sold it to James Mordue in September of that year.

Through an indenture in 1837, Henry V.S. Maus received 300 acres which included the south half of Lot 26 (100 ac) and the west 100 ac of Lot 1 West of Grand River, Concession 1. Henry and his wife then sold this land and 225 ac of this land to Jarius in 1851. Through his will, his family received the south half of Lot 26 and other lands in June 1873. A mortgage appears to have been granted to John H. Maus in 1891 for \$8,000 for the south half of said lot and other lands.

The south half of Lot 26 was sold outside the Maus family in 1910 when John Henry Maus and his wife sold it to William Morris and his wife. Similar to Lot 27, this lot exchanged hands frequently, moving from Morris and his wife to John B. Hutty in 1913, from Hutty to Soloman Frank in July 1917 then from Frank and his wife to James E. Mordue in September 1917. Mordue and others then granted the south half of this lot to Reginald T. and Marjorie E. Coombs in 1954.

Land for the church was given by Henry V.S. Maus and Louis LaPierre while others gave a total of \$1,000 for material. Henry V.S. Maus, Orin Lamberton, and Myron Ames Sr. comprised the building committee. Philo Hull was the contractor and he was assisted by a Mr. Cole while a Mr. Finlayson of Paris completed the carpentry with assistance from Robert Thompson.

The Paris Plains Church was constructed in 1845 by free labour from the church congregation. An example of cobblestone construction, it was constructed “with stones gathered from nearby fields.” Levi Boughton, an American builder who, in the 1830s, arrived in the area from Rochester, New York, introduced this form of construction here. Boughton built a number of cobblestone houses in and around Paris due to its common presence in the region.

The oval stones used to construct the Paris Plains Church were first sized in a round ring to ensure relative uniformity and then laid in even courses. This building method may have first been introduced by the Romans in Southern England and is believed to have first been applied in North America in the 19<sup>th</sup> century by unknown masons.

This Methodist Church remained active from 1845 when Rev. John Law was the first minister for a two-year period to 1921 when services ceased due to the arrival of the automobile age. The Sunday School remained.

In 1948, the Paris Plains Restoration Committee was formed, led by Jairus Maus, and \$1000 was raised for restoration resulting in an annual service on the second Sunday of June occurring in by the early 1950s.

The restoration occurred in recognition of the community’s pioneers. Previously, it had been under threat of demolition having been damaged by vandals.

The Brant County Board of Education sold the church, alongside the Maus School, to the Township of South Dumfries after an amalgamation of schools. By 1991, the church was only used sparingly, including an annual summer service.

The Paris Plains Church was designated on August 21, 1986 alongside the Maus School under Bylaw 24-86.

**Table 6: 709 Paris Plains Church Road O.Reg. 9/06 Evaluation  
 (as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response  |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.                             | Yes; this property is an example of rare cobblestone masonry coursing that is unique in Ontario to the Brant County vernacular. It is one of few remaining examples outside of Paris, Ontario.   |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | Yes; the property displays a high degree of craftsmanship represented in the cobblestone masonry coursing which was laid by local farmers. This is distinguishable in the angling of cobblestones at each course that are believed to denote the unique course laid by each farmer. Furthermore, the church displays excellent examples of rusticated stone quoins, a random course fieldstone foundation, decorative paneling on the wood doors, and multi-light pointed Gothic Revival windows.  |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | Yes; while not an elaborate technology, the procurement of the cobblestone masonry coursing was achieved by sizing nearby fieldstone in oval rings to ensure relative uniformity in the size of stone and subsequently the orderliness of each stone course. This technology is believed to have first been introduced to Southern England by the Romans and first applied in North America in the 19th century. As such, the property demonstrates a high degree of technical or scientific achievement relative to what is typical for this typology and for its era of construction in Ontario. |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | Yes; the property has a direct association with the Maus family who were early settlers in Brant County and established the Paris Plains Church and Maus School. The school is named after this family. The Paris Plains Church is also associated with the Maus Haus located at 289 Pinehurst Road. Therefore, this property is significant to this community.  |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                     | Yes; the property demonstrates the early Methodist settlement in this area of South Dumfries and the community building centred around adjacent educational and religious institutions. It demonstrates the familial role of the Maus family setting up an early religious institution in this part of Brant County.   |
| 6. The property has historical value or associative value because it demonstrates or reflects the work  | Yes; the property demonstrates and reflects the work of American builder Levi Boughton who arrived in this area from Rochester, New York in  |

| Criterion   | Summary of Response  |
|---|--|
| or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.                               | the 1830s and introduced this form of construction here. A handful of other examples by him and other builders are evident in Paris, Ontario.  |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.     | Yes; as a known church in the area, the property is important in defining, maintaining, or supporting the character of Brant County.   |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. | Yes; this property is directly linked to the adjacent Paris Plains Cemetery, the Maus School, as well as to the Subject Property. As such, the property is physically, functionally, visually, or historically linked to its surroundings. |
| 9. The property has contextual value because it is a landmark.  | Yes; as a well-known church in Brant County, the property is a visual landmark, and is currently known to meet this criterion as a community landmark being a property designated under Part IV of the OHA.                                |

**Potential Cultural Heritage Value:** This property has been designated under Part IV of the OHA.

The structure at 709 Paris Plains Church Road is a representative example of a simple three-bay front-gable church with sophisticated cobblestone masonry coursing introduced into the Brant County vernacular by American builder Levi Boughton. This structure complements the adjacent Maus School in form and contributes to the understanding of the 19<sup>th</sup> century development of this area of South Dumfries Township. It also provides an anchor for the adjacent Paris Plains Cemetery through its direct association with it. It is a surviving example of 19<sup>th</sup> century cobblestone church in this area.

Architectural cultural heritage attributes include:

- One-storey Gothic Revival style with front gable form;
- Cobblestone masonry coursing introduced to this area by American builder Levi Boughton;
- Fieldstone foundation;
- Rusticated stone quoins;
- Decorative multi-paned pointed Gothic Revival windows on front and side elevations;
- Decorative multi-paned pointed Gothic Revival transom light above front elevation doorway;
- Decorative paneling in the entry doors; and,
- Orientation and form in relation to the Paris Plains Church as well as Paris Plains Church Road.

**Sources:** 1954 Air Photos of Southern Ontario; County of Brant n.d.; County of Bruce Public Library; Department of Energy, Mines and Resources (1968, 1976); Department of Militia and Defence (1916, 1921); Department of National Defence (1928, 1934, 1940); Holroyd 1991; Kitchener - Brantford Area, 1966; Mika and Mika 1974; Page and Smith 1875; Reid 1983; Teranet and Service Ontario 2021; Township of South Dumfries (1952, 1986); Travel with TMc; Tremaine 1859; Webster 1961.



Cultural Heritage Evaluation Report  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON



Yours

Brant

Phone: St. George 448-1432

*Township of South Dumfries*

JAMES G. WILSON, A.M.C.T. C.M.C.  
CLERK-TREASURER AND TAX COLLECTOR

P.O. Box 40  
3 Main St. S.

St. George, Ontario  
N0E 1N0

August 21, 1986.



Ontario Heritage Foundation,  
77 Bloor Street,  
Toronto, Ontario.  
M7A 2R9

Dear Sir:

Please be advised that South Dumfries Township Council at their August 19, 1986 meeting has passed By-law 24-86 designating the Paris Plains Church and Maus School as heritage buildings under the Ontario Heritage Act. A copy of By-law 24-86 is enclosed for your records.

Yours truly,

James G. Wilson,  
Clerk-Treasurer.

JW/jc  
Encl.

SUNNYSIDE 1888



Cultural Heritage Evaluation Report  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

THE CORPORATION OF THE TOWNSHIP OF SOUTH DUMFRIES

BY-LAW 24-86

A By-law to designate the property known municipally as Concession 4, Part Lot 27 as being of Architectural and Historical Value and Interest

WHEREAS Section 29 of The Ontario Heritage Act 1974 authorizes the Council of a municipality to enact by-laws to designate real property including all buildings and structures thereon to be of architectural or historic value or interest; and

WHEREAS the Council of the Corporation of the Township of South Dumfries has caused to be served on the owners of the lands and premises known as Concession 4, Part Lot 27, South Dumfries Township and upon the Ontario Heritage Foundation notice of intention to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks; and

WHEREAS no objection to the proposed designation has been served on the Clerk of the municipality.

THEREFORE the Council of the Corporation of the Township of South Dumfries enacts as follows:

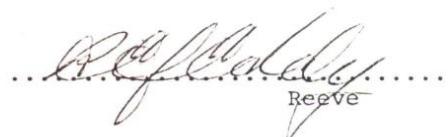
1. There is designated as being of architectural and historical value or interest the real property known as the Paris Plains Church and the Maus School at Concession 4, part Lot 27, Township of South Dumfries and more particularly described in Schedule "A" hereto.
2. The Municipal Solicitor is hereby authorized to cause a copy of this by-law to be registered against the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The Clerk is hereby authorized to cause a copy of this by-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks.

Read a first and second time this 19th day of August 1986.

Read a third time and finally passed this 19th day of August 1986.

I hereby certify the foregoing to be a true, accurate and correct

  
Jim Wilson  
Clerk

  
R. G. McAllister.....  
Reeve  
  
Jim Wilson...  
Clerk

BY-LAW 24-86

SCHEDULE "A"

ALL AND SINGULAR that certain parcel or tract of land and premises, situate lying and being in the Township of South Dumfries in the County of Brant and being composed of Part of Lot 27 in the 4th Concession more particularly described as follows:

Commencing at the intersection of the lot line between Lots 26 and 27, Concession 4, Township of South Dumfries and the northerly limits of the road allowance between Concession 3 and 4; thence westerly along the northerly limit of the said road allowance 583 feet ± to a point; thence northerly on a line parallel with the lot line between lots 26 and 27 152.6 feet ± to a point; thence easterly and parallel to the northerly limit of the road allowance between Concession 3 and 4 291 feet ± to a point; thence northerly on a line parallel with the lot line between Lots 26 and 27 73.7 feet ± to a point; thence easterly on a line parallel with the road allowance between Concessions 3 and 4 291.5 feet ± to a point on the lot line between Lots 26 and 27; then southerly along the lot line between Lots 26 and 27 225.5 feet ± to the point of commencement.

**Southwest Corner of Church**

Looking Northeast



**Paris Plains Church in Relation to Maus School**

Looking Northwest



**South Elevation of Church**

Looking North

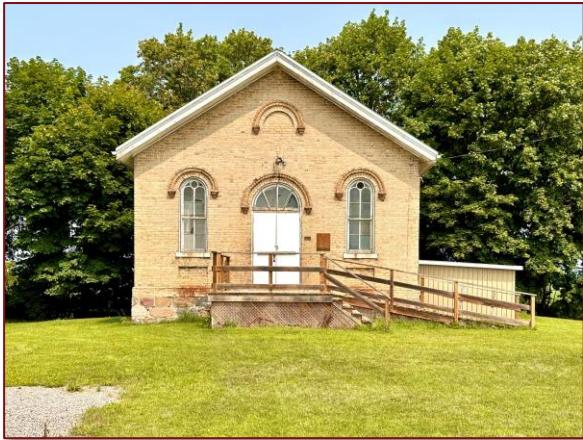


**Texture and Composition of Quoins and Fieldstone Courses**

Looking East



## 709 Paris Plains Church Road – Maus School, S.S. No. 11 (PAR-04)



**Secondary Address(es):** None

**Designation/Listing Status:** Designated (Part IV OHA; By-Law 24-86A)

**Date of Construction:** 1847

**Typology:** Educational – School

**Description:** This former school is located on Paris Plains Church Road between Pinehurst Road and West River Road. It is located west of the Paris Plains Cemetery and Paris Plains Church. It is a one-storey buff brick building three-bays wide with a front gable form perpendicular to Paris Plains Church Road. Its envelope is composed of running bond brick courses.

Architecturally, the school is similar in form to the Paris Plains Church with a front gable form with a roof of galvanized steel panels. It features two round-arched windows on the front façade that flank the central entry door which has multi-light fanlight. Round-arched hood molds are located above the glazing. A wood ramp and staircase are located at the front of the building. The foundation is constructed of random course fieldstone. A school inspector's report from 1885 noted that the Maus School had a "basement, cupola and bell. Grounds spacious, planted with maples, school room well furnished, maps sufficient, small globe, and dictionaries but no library or chromos." The cupola was removed sometime between 1961 and 1978 and part of the chimney was removed after 1978. As with the Paris Plains Church, there is an emphasis on symmetry in this design.

**Historical Associations:** The property is historically part of the southern half of Lot 27, Concession 4 which was owned by William Dickson. Abraham Shade received the north half of the south half of Lot 27 through an indenture in 1826. He later sold this to Jarius Maus in 1839.<sup>82</sup> Meanwhile, Dixon sold the south quarter of Lot 27 to Dorman Maus in 1837 with the exception of the land allocated for the cemetery. Dorman then sold this to Henry V.S. Maus in 1854 who in turn sold this and the north half of the south half of Lot 27 to John Maus. John then sold the north half of the south half of Lot 27 to Jarius Maus in 1862.<sup>83</sup> Through his will, his family received the north half of the south half of Lot 27 and the east half of the south half of the south half of this lot, as well as other lands, in June 1873.

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<sup>82</sup> OnLand

<sup>83</sup> OnLand

In 1878, Henry S. Maus sold part of the southeast quarter of Lot 27 to the Trustees Public Cemetery. John Henry Maus and his wife sold the southwest quarter of the south half of Lot 27 (25 ac) and other lands to Philip Kelley in 1909. Then a year later, Maus and his wife sold the north half of the south half and the east half of the south half of Lot 27 to William Morris in 1910. Morris and his wife then sold the north half of the south half and the east half of the south half of Lot 26 and other lands to John B. Hutty in 1913. Hutty then sold this land to Solomon Frank in July 1917 who sold it to James Mordue in September of that year.

Through an indenture in 1837, Henry V.S. Maus received 300 acres which included the south half of Lot 26 (100 ac) and the west 100 ac of Lot 1 West of Grand River, Concession 1. Henry and his wife then sold this land and 225 ac of this land to Jarius Maus in 1851. Through his will, his family received the south half of Lot 26 and other lands in June 1873. A mortgage appears to have been granted to John H. Maus in 1891 for \$8,000 for the south half of said lot and other lands.

The south half of Lot 26 was sold outside the Maus family in 1910 when John Henry Maus and his wife sold it to William Morris and his wife. Similar to Lot 27, this lot exchanged hands frequently, moving from Morris and his wife to John B. Hutty in 1913, from Hutty to Solomon Frank in July 1917 then from Frank and his wife to James E. Mordue in September 1917. Mordue and others then granted the south half of this lot to Reginald T. and Marjorie E. Coombs in 1954.

The Maus School, constructed in 1847, is the fourth of its kind in this area, with the first having been built in 1829 “in one corner of what is now the cemetery”. Henry Maus donated the land for this school. A second school, constructed of logs, was built near the highway, east of the previous school, “adjoining the farm owned by Mr. Mordue, formerly by Henry Maus.” Accounts of the location of the third school conflict. One source stated that the “third school was across the driveway from the first building.” Another source notes that it “was built at the corner of the third concession and Highway 24.” This school may have been located on the northwest corner of the intersection which was initially the property of John Maus (289 Pinehurst Road). After the third school burnt down, the extant school, situated west of the first school, was built.

A trustee board led a series of renovations and improvements over a three-year period starting in the late 1930s. Between 1938 and 1952 the school was redecorated and updated with electricity, washrooms, a cloak room, automatic pump, an oil-burning furnace and fire escape; all features which distinguished it “from the old pioneer log school house with its benches around the outer walls and a wood-burning box-stove in the centre.”

In 1967, the Maus School, alongside the Paris Plains Church, was converted into a museum by local residents, a process that occurred when one-room schoolhouses were discontinued in the province. A plaque for Canada’s centennial was installed in this year.

The Maus School was designated on August 21, 1986 alongside the Paris Plains Church under Bylaw 24-86.

**Table 7: 709 Paris Plains Church Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response  |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.                             | Yes; this schoolhouse is a modest and relatively early example of the Gothic Revival style and is a rare example of an extant and intact rural schoolhouse.  |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; while the property is representative of the Gothic Revival style and it does have intact detailing, it is a relatively modest example.   |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; while the property is representative of a mid-19 <sup>th</sup> century Gothic Revival style schoolhouse, it does not demonstrate a high degree of technical or scientific achievement relative to what is typical for this typology.   |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | Yes; the property has a direct association with the Maus family who were early settlers in Brant County and established the Paris Plains Church and Maus School. The school is named after this family. It is also associated with the Maus Haus located at 289 Pinehurst Road. Therefore, this property is significant to this community. |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                     | Yes; the property is indicative of early rural settlement and the use of this property for education in this area. It demonstrates the familial role of the Maus family setting up an early religious institution in this part of Brant County.  |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.  | No; the property is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community.   |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.   | Yes; the combination of Maus School with the Paris Plains Church and Paris Plains Cemetery has been identified by County of Brant as contributing to the heritage character of the area.   |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.   | Yes; the property is historically linked to its surroundings, notably the Paris Plains Church, the Paris Plains Cemetery, and the Subject Property.  |
| 9. The property has contextual value because it is a landmark.  | Yes; as a well-known schoolhouse in Brant County, the property is a visual landmark, and is currently known to meet this criterion as a community landmark being a property designated under Part IV of the OHA.   |

**Potential Cultural Heritage Value:** This property has been designated under Part IV of the OHA.

The structure at 709 Paris Plains Church Road is a representative example of vernacular Gothic Revival-influenced architecture in a once-functioning schoolhouse. This structure complements the adjacent Paris Plains Church in form and contributes to the understanding of the 19<sup>th</sup> century development of this area of South Dumfries Township. It is a surviving example of 19<sup>th</sup> century schoolhouse in this area.

Architectural cultural heritage attributes include:

- One-storey Gothic Revival form with front gable form;
- Buff brick;
- Fieldstone foundation;
- Decorative round stone arches above glazing and in gable;
- Round-headed multi-light windows;
- Multi-paned fanlight above entry door;
- Pointed arch windows flanking the front entry; and,
- Orientation and form in relation to the Paris Plains Church as well as Paris Plains Church Road.

**Sources:** 1954 Air Photos of Southern Ontario; County of Brant n.d.; County of Bruce Public Library; Department of Energy, Mines and Resources (1968, 1976); Department of Militia and Defence (1916, 1921); Department of National Defence (1928, 1934, 1940); Kitchener - Brantford Area, 1966; Page and Smith 1875; Reid 1983; Teranet and Service Ontario 2021; Township of South Dumfries (1952, 1986); Travel with TMc; Tremaine 1859; Webster 1961.



Cultural Heritage Evaluation Report  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON



Yours

Brant

Phone: St. George 448-1432

*Township of South Dumfries*

JAMES G. WILSON, A.M.C.T., C.M.C.  
CLERK-TREASURER AND TAX COLLECTOR

P.O. Box 40  
3 Main St. S.

St. George, Ontario  
NOE 1N0

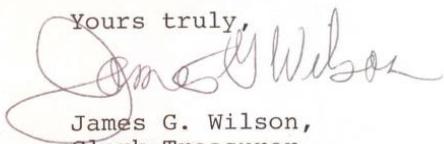


August 21, 1986.

Ontario Heritage Foundation,  
77 Bloor Street,  
Toronto, Ontario.  
M7A 2R9

Dear Sir:

Please be advised that South Dumfries Township Council at their August 19, 1986 meeting has passed By-law 24-86 designating the Paris Plains Church and Maus School as heritage buildings under the Ontario Heritage Act. A copy of By-law 24-86 is enclosed for your records.

Yours truly,  


James G. Wilson,  
Clerk-Treasurer.

JW/jc  
Encl.

SUNNYSIDE 1888



Cultural Heritage Evaluation Report  
Proposed Aggregate Pit – 699 Paris Plains Church Rd. and 304 Pinehurst Rd., Brant County, ON

THE CORPORATION OF THE TOWNSHIP OF SOUTH DUMFRIES

BY-LAW 24-86

A By-law to designate the property known municipally as Concession 4, Part Lot 27 as being of Architectural and Historical Value and Interest

WHEREAS Section 29 of The Ontario Heritage Act 1974 authorizes the Council of a municipality to enact by-laws to designate real property including all buildings and structures thereon to be of architectural or historic value or interest; and

WHEREAS the Council of the Corporation of the Township of South Dumfries has caused to be served on the owners of the lands and premises known as Concession 4, Part Lot 27, South Dumfries Township and upon the Ontario Heritage Foundation notice of intention to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks; and

WHEREAS no objection to the proposed designation has been served on the Clerk of the municipality.

THEREFORE the Council of the Corporation of the Township of South Dumfries enacts as follows:

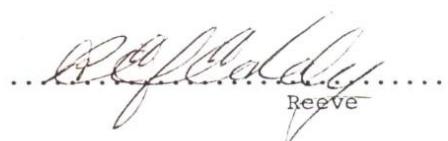
1. There is designated as being of architectural and historical value or interest the real property known as the Paris Plains Church and the Maus School at Concession 4, part Lot 27, Township of South Dumfries and more particularly described in Schedule "A" hereto.
2. The Municipal Solicitor is hereby authorized to cause a copy of this by-law to be registered against the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The Clerk is hereby authorized to cause a copy of this by-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks.

Read a first and second time this 19th day of August 1986.

Read a third time and finally passed this 19th day of August 1986.

I hereby certify the foregoing to be a true, accurate and correct

  
John D. Wilson  
Clerk

  
R. G. McAllister.....  
Reeve  
  
John D. Wilson...  
Clerk

BY-LAW 24-86

SCHEDULE "A"

ALL AND SINGULAR that certain parcel or tract of land and premises, situate lying and being in the Township of South Dumfries in the County of Brant and being composed of Part of Lot 27 in the 4th Concession more particularly described as follows:

Commencing at the intersection of the lot line between Lots 26 and 27, Concession 4, Township of South Dumfries and the northerly limits of the road allowance between Concession 3 and 4; thence westerly along the northerly limit of the said road allowance 583 feet ± to a point; thence northerly on a line parallel with the lot line between lots 26 and 27 152.6 feet ± to a point; thence easterly and parallel to the northerly limit of the road allowance between Concession 3 and 4 291 feet ± to a point; thence northerly on a line parallel with the lot line between Lots 26 and 27 73.7 feet ± to a point; thence easterly on a line parallel with the road allowance between Concessions 3 and 4 291.5 feet ± to a point on the lot line between Lots 26 and 27; then southerly along the lot line between Lots 26 and 27 225.5 feet ± to the point of commencement.

**Maus School and Monument of International Plowing Match**

Looking North



**Maus School in Relation to Paris Plains Church**

Looking Northeast



**Southeast Corner of Maus School from Near Entry Laneway**

Looking Northwest



## 724 Paris Plains Church Road (PAR-05)



**Secondary Address(es):** None

**Designation/Listing Status:** None

**Date of Construction:** Residence 1966-2006; Barn c. 1900 (addition 1980-2001)

**Typology:** Residential/Agricultural

**Description:** This property is located on the south side of Paris Plains Church Road between Pinehurst Road and West River Road. It is located to the southwest of the Subject Property. It incorporates a one-storey ranch style house with a side gable form parallel to the road. It is clad in yellow brick and features a picture window on the north elevation as well as a central chimney on the north elevation roof. A recessed single garage is attached to the house to east.

A shed, a quonset hut, and corrugated steel grain elevators are located to the south of the house.

The property also contains a L-shaped barn with silos. The front section of the barn features a side-gable form with a metal roof, vertical wood siding, and concrete and concrete block foundation. Agricultural fields border the east and south part of the property while a property is located to the west. This property was excluded from this report due to its recent construction.

**Historical Associations:** The property lies between lot 27 and 28, Concession 3, in the Former Geographic Township of South Dumfries, Brant County, which was likely first occupied in the early 19<sup>th</sup> century by Absalom Shade who received the north 100 acres from William Dickson through an indenture that included 575 acres in all.

In 1854, Shade and his wife then sold the south end of the north half of the lot, as well as the south end of the north half of Lot 28 to Henry V.S. Maus and the north end of Lot 27 and Lot 28 to John Maus. Henry then sold his part of lots 27 and 28 to John in 1856. John was the son of Henry, who arrived in Canada around 1817. John, who was born in Queenston, Ontario in 1818, was also the brother of Jarius Maus who owned lots 26 and 27 of Concession 4, on the north side of Paris Plains Church Road.

By 1875, both John and William Maus occupied lots 26, 27, and 28. John formally sold the north half of lots 27 and 28 and other lands to William in 1880. Elizabeth A., John W.R., and Charles A. Maus received the north half of lots 27 and 28 this land through William's will in 1912. In 1943, Charles A. Maus granted John

W.R. Maus the north half of Lot 28 except for 3 acres at the northeast corner. Through John W.R.'s probate, Clarence H. Maus and Harold R. Maus received then north half of Lot 27 and Lot 28 in 1951. Harold R. Maus then received the grant for this land in 1952. Finally, the Maus family relinquished ownership of the north half of Lot 27 when it was granted to Harry E. and Nancy C. Emmott in 1989. In 1990, Harold R. and Mac L. Maus leased the north half of Lot 28 to the Ontario Ploughmen's Association before transferring it to Nancy C. Emmott in 1994.

The current house appears to be located north of where an earlier residence was located. This earlier residence may have dated to c. 1875.

The barn may date to the early 1900s as indicated by the use of rusticated concrete block on the northwest foundation, a material type and form that was used in the early 20<sup>th</sup> century. It is a representative example of a bank barn, common throughout southern Ontario in the late 19<sup>th</sup> and early 20<sup>th</sup> century. Bank barns were built into south facing hills or berms with access to the barn from two levels; one access from the higher ground into the loft and the other from ground level into the stables. The orientation of the bank barn strategically located the stable and pasture grounds on the south side of the barn, sheltered from north winds. Lower stables were warmed by the earth wall of the berm. Barn access from the north elevation would have been for loft storage above the stables. Wood framed bank barns offered a sophistication that could not be matched by earlier construction materials such as logs.

The bank barn on this property is oriented with the common east to west layout. A small fenced pasture is evident on the south side of the barn, though earlier pasture area may have been larger. The rear part of the barn appears to have been added between 1980 and 2001. The grain elevators were added piecemeal between 2006 and 2016.

**Table 8: 724 Paris Plains Church Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response  |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method. | Yes; while the residence on this property is contemporary and does not hold any distinct design value, the barn on the property is an intact example of the bank barn architectural typology, common in southern Ontario in the late 19 <sup>th</sup> and early 20 <sup>th</sup> centuries. Bank barns were built into south facing hills or berms. This design created a well-ventilated structure that also provided shelter to pasture grounds on the south side of the barn and the stables beneath. Access to the barn from the north elevation provided storage and loft space. Bank barns were considered an innovative design and construction method during their prominence and allowed for a functional and multipurpose space. |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; the property does not display a high degree of craftsmanship or artistic merit.  |

| Criterion   | Summary of Response   |
|---|---|
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; the property does not demonstrate a high degree of technical or scientific achievement relative to what is typical for this typology.   |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | No; while the property is representative of a continuation of settlement patterns in South Dumfries Township, it is not an early example and it appears to have replaced an earlier property in the late 20 <sup>th</sup> century.  |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                     | No; the property is not likely to yield information that contributes to an understanding of a community or culture.   |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.  | No; the property is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community.  |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.   | Yes; as the original farmhouse on this property has long since been demolished, the bank barn is the only surviving example of original farmstead operations. This barn is a representative structure for the early agricultural heritage and longstanding rural character of the area. The significance of the structure is further realized when considered alongside the contemporary agricultural outbuildings on the property, as the barn demonstrates the firmly planted roots of these present-day functions. |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.   | Yes; while the north access to the bank barn appears to no longer be frequently used for access to storage and lofts, as indicated by its grassy coverage, the south facing courtyard created by the barn appears to still be partially used for agricultural operations. This contemporary use is a continuation of the barn's historical design intent.   |
| 9. The property has contextual value because it is a landmark.  | No; as a modest example of a residential and agricultural property, it is not a visual landmark, and is not currently known or believed to meet this criterion as a community landmark.   |

**Potential Cultural Heritage Value:** Although a mid-to-late 20<sup>th</sup> century residence with a contemporary elevator operation, the property may hold significant cultural heritage value or interest due to its remaining bank barn which is a relatively rare example in Brant County.

Potential architectural cultural heritage attributes include:

- Intact, evolved bank barn structure;
- Decorative concrete block foundation applied to part of bank barn; and,

- Intact south facing courtyard behind bank barn.

**Sources:** 1954 Air Photos of Southern Ontario; Department of Energy, Mines and Resources (1968, 1976); Department of Militia and Defence (1916, 1921); Department of National Defence (1928, 1934, 1940); Google Earth (1985, 2006, 2009, 2013, 2014, 2016, 2017, 2018, 2019); Kitchener - Brantford Area, 1966; Page and Smith 1875; Teranet and Service Ontario 2021; Warner, Beers & Co. 1883

**Barn, Silos, and Field from Paris Plains Church Road**

Looking Southwest



**View of Residence and Elevators Looking Southeast**

Looking Southeast



**Barn, Silos, and Field with Obstructed View of Elevators from Paris Plains Church Road**

Looking South



## 325 West River Road (WER-01)



**Secondary Address(es):** None

**Designation/Listing Status:** Noted on Brant County's working inventory of properties

**Date of Construction:** Pre-1916

**Typology:** Residential/Agricultural

**Description:** This property is located on the west side of West River Road between West Dumfries Road and Paris Plains Church Road. It consists of a residential structure with a rear addition, a quonset hut, and silos.

The residential structure is a yellow brick farmhouse Italianate style home with a fieldstone foundation, hipped roof, projecting eaves, brick quoins, segmentally arched voussoirs, and cornice brackets. It features chimneys on the north and south roof pitches. A laneway leads west toward the house from West River Road while another laneway to the south carries westward toward the quonset hut and silos.

**Historical Associations:** The property is part of Lot 2 West of Grand River, Concession 4 and it was likely occupied in 1850 by Christopher Latshaw who purchased it from Henry C. Latshaw and Samuel R. Latshaw and his wife. In 1854, Samuel R. Latshaw received the entire lot west of the Grand River through an indenture. In 1872, Latshaw sold 225 ac to Nisbit (Nesbit) C. Kitchen for \$10,825, suggesting that a structure may have been on the property at this point. The 1875 Illustrated Historical Atlas of the County of Brant depicted a structure on this property with orchards located northwest of it. Kitchen, in 1881, sold the property, which was noted to be a subdivision of Lot 2, for \$12,000 to Robert Guthrie.

In 1886, Robert Guthrie sold 225 ac to Robert H. Guthrie, who was likely his son, for \$13,000. After a series of mortgages issued by Robert H. Guthrie beginning in 1898 and continuing until 1946 when it was granted by Kingsburgh Kyle, Robert Henry Kyle, Robert Henry Guthrie, and Margaret Guthrie to Archibald C. Burt.

Topographical maps from the 20<sup>th</sup> century consistently depicted a structure on this property in the approximate location of the present residential structure. By 1968, rear outbuildings were also depicted, which suggest the agricultural function of this property.

**Table 9: 325 West River Road Road O.Reg. 9/06 Evaluation  
(as amended by O.Reg. 569/22)**

| Criterion   | Summary of Response  |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.                             | Yes; the farmhouse on the property is a representative example of Italianate architectural style which has been adapted in a rural setting. The Italianate architectural style was common in Ontario between 1850-1900 and in the rural context, was considered to be a classical alternative to more ornate styles such as the Gothic Cottage. The expression of this style in rural settings was often modest and scaled back, as demonstrated by the farmhouse on the property. |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | No; while the farmhouse is a representative example of Italianate architectural style, it does not demonstrate a high degree of craftsmanship or artistic merit relative to what is typical for this typology.   |
| 3. The property has a design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | No; while the property demonstrates a distinct architectural style, it does not demonstrate a high degree of technical or scientific achievement relative to what is typical for this typology. The farmhouse on this property demonstrates a fairly modest adaptation of its construction and architectural style.  |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | No; the property is not known to have direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.   |
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                     | No; the property is not known to yield information that contributes to an understanding of a community or culture.   |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.  | No; the property is not known to demonstrate the work or ideas of an architect, builder, designer or theorist who is significant to a community.   |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.   | Yes; the modest and vernacular style of the farmhouse, and functional connections to the landscape as part of an agricultural property, contributes to the rural heritage of the community.  |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.   | Yes; the farmhouse on the property is visually linked to the surrounding rural landscape and agricultural fields to the rear of the building. The orientation of the building, situated parallel to the western property line connects the building to the agricultural property in which it is situated.  |

| Criterion  | Summary of Response  |
|--|--|
| 9. The property has contextual value because it is a landmark. | No; the farmhouse on this property represents a relatively modest version of the Italianate architectural style, and is not a visual landmark and is not currently known or believed to meet this criterion as a community landmark. |

**Potential Cultural Heritage Value:** This property has been noted on Brant County's working inventory of properties with the potential for future evaluation of its cultural heritage value or interest.

The residence at 325 West River Road is a representative example of vernacular farmhouse Italianate-influenced architecture in a functional agricultural setting. This structure complements nearby 19<sup>th</sup> century farmsteads by contributing to the historical and architectural evolution of agricultural properties in South Dumfries Township. It is a surviving example of 19<sup>th</sup> century residential development on a farmstead in this area. Though a relatively common rural style, this residence is an intact example in the area.

Potential architectural cultural heritage attributes include:

- The location of the farmhouse within a rural setting;
- Intact two-storey farmhouse Italianate-style form;
- Yellow brick cladding;
- Fieldstone foundation;
- Hipped roof;
- Projecting eaves;
- Segmentally arched voussoirs;
- Cornice brackets; and,
- Setback from West River Road with characteristic laneway.

**Sources:** 1954 Air Photos of Southern Ontario; Department of Energy, Mines and Resources (1968, 1976); Department of Militia and Defence (1916, 1921); Department of National Defence (1928, 1934, 1940); Google Earth (1985, 2009, 2013, 2014, 2016, 2017, 2018, 2019); Kitchener - Brantford Area, 1966; Mutrie 1993; Page and Smith 1875.

**Southwest Elevation of Residence**

Looking Northwest



**Quonset Hut with Silos in View from West River Road and Property Laneway**

Looking West



**East Elevation of Residence with Quoins, Brackets, and Hipped Roof in View**

Looking West





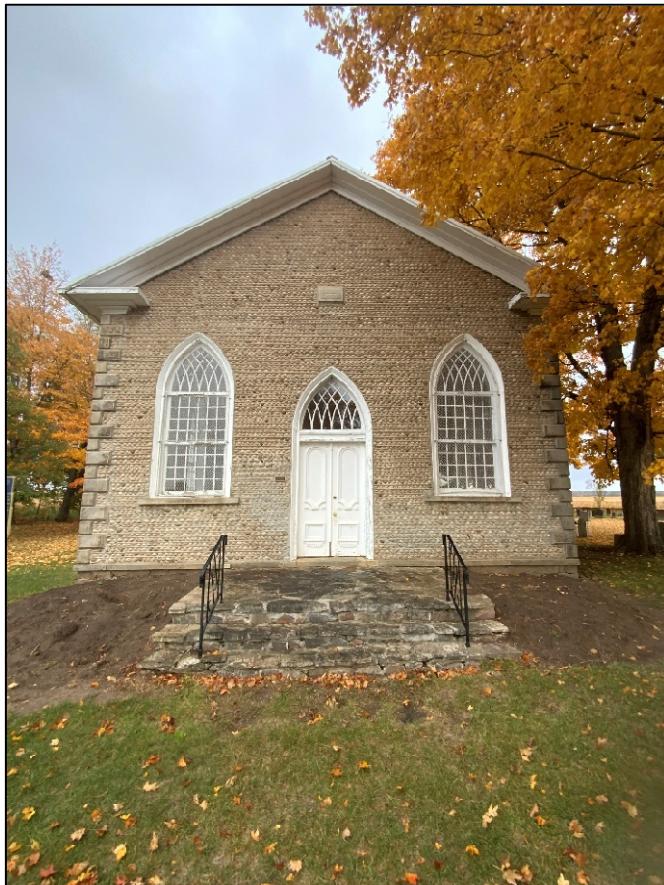
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## APPENDIX C: CONDITION ASSESSMENT 705 & 709 PARIS PLAINS CHURCH ROAD

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# 699 Paris Plains Church Road Properties Condition Assessment

699 Paris Plains Road  
Brant County, Ontario



Prepared by:



176 Speedvale Avenue West  
Guelph, ON  
TE-41094-22

January 27, 2023

## Executive Summary

Tacoma Engineers has been retained by TMHC Inc. to carry out a structural condition assessment of several buildings in the immediate vicinity of 699 Paris Plains Church Road north of Paris in Brant County. The condition assessment will be appended to a heritage impact assessment currently being prepared by TMHC on behalf of the Miller Group (MG).

The primary purpose of this assessment is to provide a summary of the existing structural conditions of adjacent buildings found to be of heritage significance. Recommendations for remedial work at the church and school buildings is provided in an appendix to this report. Furthermore, recommendations regarding development of the site at 699 Paris Plains Church Road are provided in coordination with the entire consultant team.

The Maus School and Paris Plains Church are generally in good condition and will benefit from relatively minor remedial work. The development of the site at 699 Paris Plains Church Road will require significant heavy equipment, both during the development of the site and its proposed use as a gravel pit. The impact to the school and church buildings can be mitigated by locating access to the site in areas further from the significant structures, monitoring the below-grade conditions (water levels, etc.) and above-grade conditions (vibration monitoring), and limiting the use of higher impact means of development such as pile driving and the use of explosives.

## Table of Contents

|  |    |
|--|----|
| Executive Summary.....   | i  |
| <i>List of Photographs</i> .....                               | ii |
| 1. Introduction.....   | 1  |
| 2. Background .....  | 1  |
| 3. Building Histories.....                                     | 2  |
| 4. Scope and Methods .....                                     | 2  |
| 5. Definitions.....  | 2  |
| 6. Maus School - General Structural Conditions.....            | 4  |
| 6.1. <i>Ground Floor</i> .....                                 | 4  |
| 6.2. <i>Basement</i> .....                                     | 6  |
| 6.3. <i>Exterior</i> .....                                     | 9  |
| 7. Paris Plains Church - General Structural Conditions.....    | 12 |
| 7.1. <i>Ground Floor</i> .....                                 | 12 |
| 7.2. <i>Exterior</i> .....                                     | 13 |
| 8. Summary of Recommendations.....                             | 15 |
| 8.1. <i>Maus School Recommendations</i> .....                  | 15 |
| 8.2. <i>Paris Plains Church Recommendations</i> .....          | 15 |
| 8.3. <i>699 Paris Plains Church Road Recommendations</i> ..... | 15 |
| 9. Conclusions.....  | 16 |
| <i>Appendix A: Building-Specific Recommendations</i> .....     | 17 |

## List of Photographs

|   |    |
|---|----|
| Photograph 1: Cracked plaster finishes in classroom .....               | 4  |
| Photograph 2: Water staining on ceiling.....                            | 5  |
| Photograph 3a, 3b: Ground floor framing .....                           | 6  |
| Photograph 4: Exposed foundation wall .....                             | 7  |
| Photograph 5: Destabilized foundation wall, west elevation.....         | 8  |
| Photograph 6a, 6b: Typical exterior masonry openings .....              | 9  |
| Photograph 7: Mortar deterioration and repairs; rear elevation .....    | 10 |
| Photograph 8: Mortar deterioration; northeast corner.....               | 10 |
| Photograph 9: Failed foundation mortar; evidence of water ingress ..... | 11 |
| Photograph 10: East elevation chimney.....                              | 11 |
| Photograph 11: Chapel interior.....                                     | 12 |
| Photograph 12: Exterior masonry, typical .....                          | 13 |
| Photograph 13a, 13b: Cracks above front elevation window openings ..... | 14 |

## 1. Introduction

Tacoma Engineers has been retained by TMHC Inc. to carry out a structural condition assessment of several buildings in the immediate vicinity of 699 Paris Plains Church Road north of Paris in Brant County. The condition assessment will be appended to a heritage impact assessment currently being prepared by TMHC on behalf of the Miller Group (MG).

Tacoma Engineers was retained TMHC on September 9<sup>th</sup>, 2022. The undersigned attended the site on the morning of October 14<sup>th</sup>, 2022, accompanied by a member of the local committee responsible for the care of the Paris Plains Church and by a representative of the Miller Group.

Detailed assessments are included for the Paris Plains Church (705 Paris Plains Church Road) and for the Maus Schoolhouse (709 Paris Plains Church Road). A visual review of several other neighbouring properties was carried out from the roadway.

This report includes a summary of the following items for the buildings:

- major structural systems;
- existing structural conditions and areas of potential concern;
- conceptual repair options for any areas that may require remedial work; and
- potential risks to the building related to the proposed future development.

## 2. Background

The Miller Group owns the property in question, and Tacoma Engineers is being retained as a sub-consultant by the Prime Consultant (TMHC).

This assessment is being undertaken by the Owner and is intended to form part of a heritage impact assessment (HIA) recommended by TMHC in the cultural heritage evaluation report (CHER) prepared in the summer of 2022. This report is not being prepared as a response to an Order, recommendations, or request by any regulatory body.

The primary purpose of this assessment is to provide a summary of the existing structural conditions of adjacent buildings found to be of heritage significance. Furthermore, recommendations regarding development of the site at 699 Paris Plains Church Road will be provided in coordination with the entire consultant team.

This report is based on a visual inspection only and does not include any destructive testing. Where no concerns were noted the structure is assumed to be performing adequately. The structure is assumed to have been constructed in accordance with best building practices common at the time of construction. No further structural analysis or building code analysis has been carried out as part of this report unless specifically noted.

No previous work has been completed by Tacoma Engineers on these buildings for this or any other owner.

No sub-consultants have been retained by Tacoma Engineers to participate in this assessment.

### 3. Building Histories

The Maus School was constructed in 1847 as a single storey one-room schoolhouse with a full basement. It was operated as a school until the late 1960s and since that time has served various roles as museum, local gathering hall, and now stands empty.

The Paris Plains Church was built in 1845 by the local church congregation. After many years housing the local church congregation, the building fell into disrepair until a major restoration campaign was undertaken in 1948. The building has been maintained by a local committee of volunteers and hosts weddings and other gatherings on an infrequent basis.

### 4. Scope and Methods

The following documents were provided to the undersigned prior to the preparation of this report:

- *Cultural Heritage Evaluation Report: Proposed Gravel Pit – 699 Paris Plains Church Road, TMHC, July 5, 2022*

The assessment of the buildings is based on a visual assessment from grade and from floor levels. Note that most of the spaces in the buildings have applied finishes that preclude a direct visual assessment of the structural systems. Limited areas are unfinished, and a review of the primary structure was possible in these areas.

A site visit was carried out by Gerry Zegerius, P.Eng. on October 14<sup>th</sup>, 2022, accompanied by a member of the local volunteer committee and a representative of the Miller Group. A visual review of all accessible spaces was completed on this date, and photographs were taken of all noted deficiencies.

### 5. Definitions

The following is a summary of definitions of terms used in this report describing the condition of the structure as well as recommended remedial actions. Detailed material condition definitions are included in Appendix A of this report.

- **Condition States<sup>1</sup>:**
  1. Excellent – Element(s) in “new” condition. No visible deterioration type defects present, and remedial action is not required.
  2. Good – Element(s) where the first signs of minor defects are visible. These types of defects would not normally trigger remedial action since the overall performance is not affected.
  3. Fair – Element(s) where medium defects are visible. These types of defects may trigger a “preventative maintenance” type of remedial action where it is economical to do so.
  4. Poor – Element(s) where severe or very severe defects are visible. These types of defects would normally trigger rehabilitation or replacement if the extent and location affect the overall performance of that element.
- **Immediate remedial action<sup>1</sup>:** these are items that present an immediate structural and/or safety hazards (falling objects, tripping hazards, full or partial collapse, etc.). The remedial recommendations will need to be implemented immediately and may include restricting access, temporary shoring/supports or removing the hazard.

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<sup>1</sup> Adapted from “Structural Condition Assessment”, 2005, American Society of Civil Engineers/Structural Engineering Institute

- **Priority remedial action<sup>1</sup>:** these are items that do not present an immediate hazard but still require action in an expedited manner. The postponement of these items will likely result in the further degradation of the structural systems and finishes. This may include interim repairs, further investigations, etc. and are broken down into timelines as follows:
  1. **Short-term:** it is recommended that items listed as short-term remedial action are acted on within the next 6 months (**before the onset of the next winter season**).
  2. **Medium-term:** it is recommended that items listed as medium-term remedial action are acted on within the next 24 months.
  3. **Long-term:** it is recommended that items listed as long-term remedial action are acted on within the next 5-10 years. Many of these items include recommendations of further review/investigation.
- **Routine maintenance<sup>1</sup>:** these are items that can be performed as part of a regularly scheduled maintenance program.

In addition to the definitions listed above, it should be noted that both the Maus School and Paris Plains Church are designated under Part IV of the Ontario Heritage Act. The Standards and Guidelines for the Conservation of Historic Places in Canada provide direction when a structural system is identified as a character-defining element of an historic place. They also provide direction on maintaining, repairing, and replacing structural components or systems<sup>2</sup>. Refer to the General Guidelines for Preservation, Rehabilitation, and Restoration to further inform the development of more detailed remedial actions.

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<sup>2</sup> “Standards and Guidelines for the Conservation of Historic Places in Canada”, 2<sup>nd</sup> Edition, 2010, [www.historicplaces.ca](http://www.historicplaces.ca)

## 6. Maus School - General Structural Conditions

The building is constructed as a one-storey masonry and wood-framed structure. Exterior walls are constructed with mass masonry and brick and the roof and floors are constructed with wood framing. A small metal-clad addition is constructed on the east elevation, providing access to the basement directly from the exterior.

### 6.1. Ground Floor

#### Construction

The ground floor of the building is laid out with a primary large room supported by several small rooms, including two washrooms, an entry vestibule, and a basement stairway. The main classroom is finished with plaster walls and ceilings, and wood trim and mouldings. The floor is finished with strip hardwood flooring. Access to the attic was not available at the time of the review; however, it is expected that the roof is constructed with wood ceiling joists and roof rafters finished with lathe and plaster. Exterior walls are assumed to be constructed with multi-wythe masonry (expected to be two (2) wythes), wood strapping, and lathe and plaster. Limited access to the wall assembly was possible at window openings in the washrooms. Interior walls are constructed with regularly spaced wood studs, visible at damaged finishes in the washrooms.

#### Conditions

The finishes on the ground floor were found to be generally in fair condition with cracking of plaster finishes on the walls and ceiling throughout.



Photograph 1: Cracked plaster finishes in classroom

The cracking was noted to be relatively uniform, and the cracks are generally medium in width and not indicative of structurally significant settlement or deterioration.

Paint finishes are failing and water staining of the ceiling was noted in several locations, specifically near the entrance at one of the washroom entries.



**Photograph 2: Water staining on ceiling**

There were no signs of active water ingress at the time of the review and the roof appears to be relatively new and in good repair. It is likely that the water staining visible in the above photograph and in other areas is the result of a roof failure that has since been repaired.

## 6.2. Basement

### Construction

The foundations of the Maus School are constructed with rubblestone masonry clad on the interior face with wood strapping, wood lathe, and plaster.

The ground floor framing above is largely clad with wood lathe and plaster, however in several locations the finishes are damaged or removed. The floor is framed with 2½" wide by 10" deep wood joists spaced at 16" on centre, supported on 10" by 10" wood beams supported on mid-span metal columns.



**Photograph 3a, 3b: Ground floor framing**

### Conditions

The majority of the interior face of the foundation wall was still clad with plaster; however, the lower section of the foundation was exposed in several locations. The foundations in these areas was found to be generally in fair condition, with mortar generally sound and in good repair.



**Photograph 4: Exposed foundation wall**

The loss of mortar appears to be concentrated nearer to the exterior grade, which is likely a function of the repeated freeze-thaw cycles that occur within the 24" immediately below grade.

A small section of foundation wall appears to have collapsed along the west elevation, near to the access stair.



**Photograph 5: Destabilized foundation wall, west elevation**

The wall surrounding this destabilized section does not appear to be adversely impacted at this time.

The ground floor framing (shown in Photographs 3a and 3b) is in good condition. Limited deterioration of the 10" by 10" wood beams is expected in the concealed beam pockets where the wood is in direct contact with the masonry; however, there is no visual evidence of deterioration at this time.

### 6.3. Exterior

#### Construction

The exterior of the building is constructed with yellow brick arranged in a common bond (stretcher or header courses at approximately every sixth or seventh course). Side elevation window openings are supported with shallow camber arches and front window and door openings are supported with semi-circular arches proud of the wall face.



**Photograph 6a, 6b: Typical exterior masonry openings**

Exposed rubblestone foundations and a chamfered water table are also visible in the above photographs.

Wood fascias and soffits are visible on the end gables, and the side elevations are provided with typical eavestroughs and downspouts. The roof appears to be light-gauge steel.

#### Conditions

The exterior brick masonry is generally in excellent condition. Mortar is sound and the masonry units do not appear to have sustained significant freeze-thaw damage. Localized mortar deterioration was noted on the rear elevation where a previous building addition has since been removed.



**Photograph 7: Mortar deterioration and repairs; rear elevation**

Repairs to the brick in this area appear to have been undertaken using a Portland cement mortar.

Mortar deterioration was noted immediately below the water table at the northeast corner.



**Photograph 8: Mortar deterioration; northeast corner**

The exterior of the rubblestone foundations is in fair condition. Mortar deterioration is relatively uniform throughout, and in several locations the Portland cement mortar repairs are not performing satisfactorily.



**Photograph 9: Failed foundation mortar; evidence of water ingress**

A brick fireplace has been added to the building on the east elevation. The chimney appears to be capped and is reported to be inactive.



**Photograph 10: East elevation chimney**

The chimney appears to have separated from the original building and several gaps are visible along the height of the chimney.

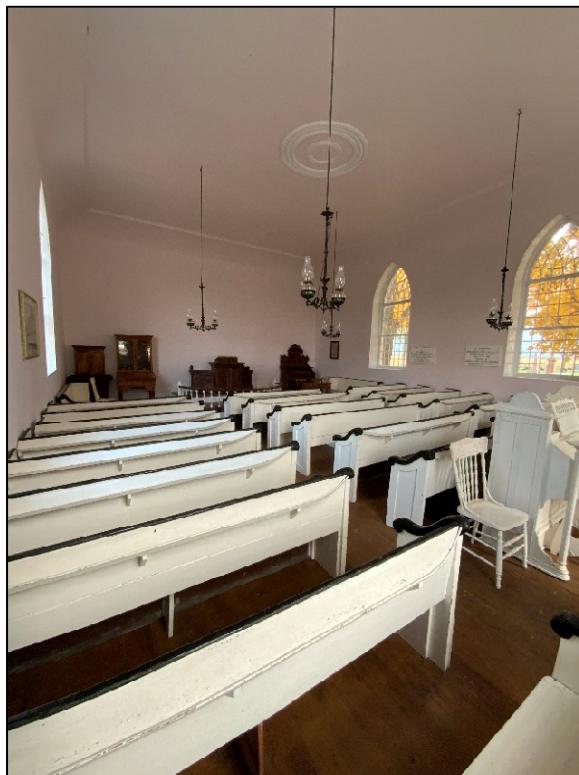
## 7. Paris Plains Church - General Structural Conditions

The building is constructed as a one-storey masonry and wood-framed structure. Exterior walls are constructed with cobblestone masonry and the roof and floors are constructed with wood framing. The church is constructed as a single large room with an elevated wood floor. No access to the attic or crawlspace were available at the time of the review.

### 7.1. Ground Floor

#### Construction

The entire ground floor of the building is constructed as a chapel. The exterior walls and ceiling are finished with plaster and the floor is finished with wood plank decking.



**Photograph 11: Chapel interior**

#### Conditions

The ground floor of the church is in excellent condition. The finishes are in excellent condition with no evidence of structurally significant cracking. Paint finishes are intact and the space is very well maintained.

## 7.2. Exterior

### Construction

The exterior of the Paris Plains Church is constructed with cobblestone masonry, a style of construction that lays similarly sized cobbles in horizontal coursing with raised bed joints. Cut stone quoins are provided at each outside corner, and a cut stone water table is provided at approximately 24" above grade. The foundations are constructed with rubblestone, largely granite. Window openings are constructed in line with the horizontal cobblestone coursing and are provided with stone sills extending past the openings.



**Photograph 12: Exterior masonry, typical**

A metal sheet roof is installed over wood fascias and soffits. Metal eavestroughs and downspouts are provided along each sidewall.

### Conditions

The exterior of the church is in excellent condition. The masonry is in excellent condition and is generally free of cracking and mortar deterioration.

Vertical cracks were noted above each of the two (2) front windows. A vertical crack is also visible at the southwest corner, shown in Photograph 13a, below.



**Photograph 13a, 13b: Cracks above front elevation window openings**

Localized mortar repairs were noted near grade on the front elevation, specifically below the front elevation window on the east side of the front door (visible in Photograph 13b, above).

The exposed rubblestone foundations are in good condition. Mortar is in varying states of deterioration; however, it appears to have been repaired on a regular basis and is performing as required. Ventilation openings to the limited space between grade and the floor framing are protected with heavy wire mesh. Wood framing of beams and joists was visible through these openings, but the conditions could not be confirmed based on this limited sample.

## **8. Summary of Recommendations**

### ***8.1. Maus School Recommendations***

Refer to Appendix A for specific remedial recommendations related to the Maus School building.

### ***8.2. Paris Plains Church Recommendations***

Refer to Appendix A for specific remedial recommendations related to the Paris Plains Church building.

### ***8.3. 699 Paris Plains Church Road Recommendations***

It is understood that the property at 699 Paris Plains Church Road is proposed for development as a gravel pit. While the two (2) structures described in detail in this report are not expected to be impacted directly by the development of the gravel pit, it should be noted that both structures are constructed with unreinforced masonry, both natural and unit masonry. Unreinforced masonry structures are particularly vulnerable to movement, deflection, and vibration, as the lack of reliable tensile reinforcement can allow for the unrestrained widening of cracks or openings in the structure.

The development of the gravel pit will involve the use of heavy equipment both during the regular operations of the pit and during the development of the site for mining activities. Note the following general notes with respect to the development and operations of the pit:

- Locate access routes to minimize the impact of heavy vehicles on the subject structures. Minimizing the number of trips during the development and operation of the pit within close proximity to the structures will control against unintended vibration and movement.
- Provide monitoring of groundwater levels to guard against excessive settlement of the supporting soils. The dewatering activities required for the development and operations of the pit may result in a reduction in pore pressure of the soils supporting the subject structures, resulting in settlement beyond that which the unreinforced structures can resist.
- Vibration monitors can be an effective means of monitoring changes to conditions due to development. The combination of these monitors with a regular review of the structures is recommended to ensure that the proposed development is carried out in a way that does not negatively impact the subject structures.

## 9. Conclusions

The Maus School and Paris Plains Church are located adjacent to the proposed development at 699 Paris Plains Church Road. The structures are generally in good condition and will benefit from relatively minor remedial work. Recommendations related to these items are provided as an appendix to this report.

The development of the site will require significant heavy equipment, both during the development of the site and its proposed use as a gravel pit. The impact to the school and church buildings can be mitigated by locating access to the site in areas further from the significant structures, and by monitoring the below-grade conditions (water levels, etc.) and above-grade conditions (vibration monitoring) in order to ensure the development is not adversely affecting the structures.

Per

Gerry Zegerius, P.Eng., CAHP  
Structural Engineer, Senior Associate  
Tacoma Engineers



## **Appendix A: Building-Specific Recommendations**

### **Maus School Recommendations**

The following provides a summary of the recommendations for the Maus School:

#### **Items requiring short-term remedial action:**

1. Carry out repairs to the destabilized section of foundation wall on the west elevation. While the damaged foundation does not appear to have impacted the surrounding areas, the destabilization will continue to advance and the risk of more significant deterioration will increase.

#### **Items requiring medium-term remedial action:**

2. Remove the east chimney. Repair the exposed wall with salvaged brick sourced to match the existing material in vintage, colour, sizing, and porosity.
3. Repair damaged mortar joints around the perimeter of the building, specifically those open joints in the foundation walls. Deep repointing is expected in locations where water ingress has washed out the core of the wall. Carry out repairs using a compatible mortar. It is likely that a 1-1-6 (Cement – Lime – Aggregate) mortar is suitable for this application.

#### **Items requiring routine maintenance:**

4. Carry out regular (monthly) reviews of the interior. Ensure that the building is protected from the elements and animal activity.
5. Ensure that any electrical services are in good repair and are limited to those required for general maintenance. Damaged electrical services are a leading cause of fire in unoccupied buildings.
6. Clean out eavestroughs and maintain all downspouts to drain away from the building. Washout around the perimeter of the building is an indicator that the drainage is not controlling water effectively.

### **Paris Plains Church Recommendations**

The following provides a summary of the recommendations for the Paris Plains Church:

#### **Items requiring routine maintenance:**

1. Carry out regular reviews of the exterior and implement an ongoing masonry restoration plan. Ensure that any repair mortars are compatible with the surrounding materials. The building was constructed prior to the advent of Portland cement mortars, and as such lime-based mortars are recommended for the bulk of the repairs. The use of a 1-1-6 mortar could be considered for foundation repairs in order to capitalize on the increased strength of the Portland cement materials in combination with the primarily granite foundations.
2. Clean out eavestroughs and maintain all downspouts to drain away from the building. Washout around the perimeter of the building is an indicator that the drainage is not controlling water effectively.



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## APPENDIX D: ZONE OF INFLUENCE STUDY & VIBRATION MONITORING PLAN

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**ZONE OF INFLUENCE STUDY & VIBRATION MONITORING PLAN**  
**Project: 22136.01**

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**Paris Plains Pit**

Brant, Ontario

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Prepared for:

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November 27, 2023

## Revision History

| Version | Description    | Author | Reviewed | Date              |
|---------|----------------|--------|----------|-------------------|
| --      | Initial Report | BP     | KC       | November 27, 2023 |
|         |                |        |          |                   |
|         |                |        |          |                   |
|         |                |        |          |                   |
|         |                |        |          |                   |
|         |                |        |          |                   |
|         |                |        |          |                   |

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## Table of Contents

|          |  |          |
|----------|--|----------|
| <b>1</b> | <b>Introduction</b>  | <b>1</b> |
| <b>2</b> | <b>Construction Vibration Zone of Influence</b>                        | <b>2</b> |
| <b>3</b> | <b>Vibration Monitoring – Paris Plains Church and School Buildings</b> | <b>6</b> |
| <b>4</b> | <b>Conclusion</b>  | <b>8</b> |

## Appendix A

Zone of Influence Calculations

## Appendix B

Zone of Influence Maps

## Appendix C

Qualifications of the Authors

## 1 Introduction

Aercoustics Engineering Limited (Aercoustics) has been retained by Miller Aggregates to provide vibration engineering services in support of the Proposed Paris Plains Pit located in Brant, Ontario. This study will help assess the potential for construction and operational vibration in the vicinity of the project and determine if there is any potential for significant construction vibration impact on any nearby sensitive structures. This study outlines the planned construction and operational activities with the potential to generate significant vibration levels, and identifies setback distances for each activity beyond which vibration levels are unlikely to cause damage to even the most sensitive structures, such as heritage structures.

Many municipalities in Ontario have a by-law governing the analysis and monitoring of a vibration Zone of Influence (ZOI) for a construction project. The County of Brant, Ontario does not currently have any construction vibration by-laws. As such, while there is no regulatory requirement to carry out a ZOI study or to vibration monitor for the Paris Plains Pit, this study and its recommended monitoring are being done as due diligence consideration of the worst-case impact from operations associated with the proposed pit on nearby receptors, particularly the nearby Paris Plains Road Church and Paris Plains School. In the absence of an applicable local municipal, provincial, or federal regulatory document, this study was carried out using the methodology and requirements set out in the City of Toronto By-Law No. 514-2008 with consideration of other relevant standards for vibration impact on heritage structures.

The proposed pit consists of five phases and will generally be extracted from east to west in phases 1, 2, and 5, and from north to south or northeast to southwest in phases 3 and 4. It is bounded by Pinehurst Road on the west, West River Road on the east, West Dumfries Road on the north, and Paris Plains Church Road on the south. Noteworthy buildings located nearest to the proposed site include residential buildings 65 m to the west, 550 m to the north, 730 m to the east, and 250 m to the south.

Additionally, Paris Plains Church and Paris Plain School buildings are located 30 m to the south at 598-760 Paris Plains Church Road. The Paris Plains Church is listed by the Ontario Heritage Trust and recognized by the Ontario Archaeological and Historic Sites Board. As these two buildings are the most sensitive to vibration in the area and are in closest proximity to pit operations, this zone of influence study has been focused on the phase nearest to and directly affecting the church/school. As discussed later, the other nearby receptors are not expected to be at any risk of vibration impact due to their significant setback from the site.

The internal haul route for the proposed pit also routes trucks within approximately 30 m of the property located at 304 Pinehurst Road, which has been noted as a structure which may be more sensitive to vibration impacts as it contains heritage components. An analysis of loaded truck vibrations in this area has also been conducted.

## 2 Construction Vibration Zone of Influence

Due to the nature and proximity of the buildings nearby the proposed site, a construction and operational vibration Zone of Influence (ZOI) and impact assessment was carried out to determine the potential for structural damage and determine the ideal location for a vibration monitoring program.

Site layout drawings were provided to Aeroustics by Miller Aggregates. The construction activities which have the potential of generating elevated vibration levels during different stages of on-site work were determined based on the information provided and are listed below:

### Noise Berm Construction

- Excavators
- Bulldozers
- Graders

### Normal Pit Operation

- Portable Crusher
- Excavators
- Extraction Loaders

Heavy loaded trucks are also expected during the construction of berms and operation within the pit, as well as along the haul route. These trucks can generate vibration levels in some cases, however due to both the low speed of the vehicles on the property and the large setback distance from these vehicles to the Paris Plains Church or School buildings or the building at 304 Pinehurst Road, the vibration levels from trucks are not expected to negatively impact neighbouring sensitive infrastructure. Nonetheless, the potential vibration impacts associated with these truck movements have been assessed.

### 2.1 Vibration Velocity Criteria

As a point of reference, the City of Toronto By-Law No. 514-2008 defines the zone of influence as the area of land within or adjacent to the construction site, including any buildings, structures or infrastructure, that potentially may be impacted by vibrations emanating from a construction activity where the peak particle velocity measured at the point of reception is equal to or greater than 5 mm/s at any frequency. This 5 mm/s criterion is intended for typical structures, and is not necessarily appropriate for those of a more sensitive nature, such as heritage buildings. The by-law indicates that heritage buildings require special consideration but does not provide a vibration guideline, and as such other standard and technical documents have been reviewed to establish a range of appropriate vibration criteria.

The Federal Transit Administration document FTA-VA-90-1003-06, titled 'Transit Noise and Vibration Impact Assessment', contains a section detailing vibration assessment of construction activities, and outlines construction vibration damage criteria for different building types. It suggests a damage criteria of  $\sim 3\text{mm/s}$  PPV (peak particle velocity) for "buildings extremely susceptible to vibration damage".

Another relevant reference, the German standard DIN 4150-3, 'Structural Vibration – Part 3: Effects of Vibration on Structures', lists a criteria of  $2.5\text{ mm/s}$  in the horizontal plane as its most stringent guideline for evaluating the effects of long-term vibration on structures.

The most detailed and perhaps the most relevant standard is the Swedish Standard SS 25211, 'Vibration and Shock – guidance levels and measuring of vibrations in buildings originating from piling, sheet piling, excavating and packing to estimate permitted vibration levels'. This standard outlines different vertical vibration criteria depending on a variety of factors, such as construction activity and building type or material. While many different criteria levels may be recommended depending on these factors, the most stringent criteria this standard could recommend is for "historic buildings in a sensitive state as well as certain sensitive historic buildings (ruins)", with a criteria level of  $\sim 1.2\text{ mm/s}$ .

A summary of these vibration velocity criteria is provided in Table 1 below:

Table 1: Summary of Various Vibration Velocity Criteria for Risk of Building Damage

| Criteria Source                              | Type of Structure   | Criteria |
|--|---|----------|
| City of Toronto By-Law No. 514-2008          | Modern Construction   | 5 mm/s   |
| Federal Transit Administration VA-90-1003-06 | 'Buildings extremely sensitive to vibration damage'   | 3.5 mm/s |
| German standard DIN 4150-3                   | 'Particularly sensitive buildings of great intrinsic value'                                       | 2.5 mm/s |
| Swedish Standard SS 25211                    | 'Historic buildings in a sensitive state as well as certain sensitive historic buildings (ruins)' | 1.2 mm/s |

The above listed vibration limits are for reference only and merely intended to illustrate the range of most restrictive building vibration criteria taken from relevant literature. Applicable vibration criteria for any historic structure should be determined on a case-by-case basis.

## 2.2 Paris Plains Church & School Buildings – Vibration Impact ZOI

To maintain a conservative approach for the Paris Plains Church and School buildings, this study will assume a vibration criteria level of  $1\text{ mm/s}$  when determining zone of influence setback distances for the construction activities under assessment in proximity to these structures. This level is more stringent than the most restrictive vibration criteria levels listed for sensitive structures in any of the reviewed literature. As such, any

structures outside the identified zone of influence should not be susceptible to damage from construction vibrations or require further study.

The extent of a zone of influence is expected to extend from the point of operation of each piece of equipment is listed in Table 2. Further details about the determination of these zone of influence extents is provided in Appendix A.

Table 2 - Extent of Zone of Influence from Point of Operation – Paris Plains Church & School

| Equipment         | Extent of 1 mm/s Zone of Influence |
|-------------------|------------------------------------|
|                   | Barrier Construction               |
| Excavator         | 11.8 m                             |
| Bulldozer         | 13.1 m                             |
| Grader            | 13.1 m                             |
| Loaded Trucks     | 11.8 m                             |
| Normal Operations |                                    |
| Portable Crusher  | 23.2 m                             |
| Excavator         | 11.8 m                             |
| Extraction Loader | 13.1 m                             |
| Loaded Trucks     | 11.8 m                             |

Although the equipment with the largest 1 mm/s zone of influence extent is the portable crusher, the operating limitations of the pit necessitate that the crusher maintain a large setback distance from edge of the limit of extraction near the Paris Plains Church and School. As a result, the berm construction phase is expected to represent the worst-case vibration impact on the church/school buildings, as equipment during this phase will be operating at the edge of the property line.

A site plan indicating the approximate zone of Influence for each vibration generating piece of equipment is provided in Appendix B. The yellow, orange, and red lines on the figures represents the extent of the zone of influence given the 1 mm/s criteria. There are no operations with a zone of influence extending to include the church/school buildings.

Berm construction activities will be a minimum of 45 to 50 m from the Paris Plains Church and School buildings, resulting in a predicted worst-case impact of 0.15 mm/s against the most stringent 1 mm/s criterion. Once berm construction is complete, the nearest significant vibration-producing activities will be a minimum of 65 m away from the church/school buildings, resulting in vibration impacts below the threshold of human perception, 0.1 mm/s.

### 2.3 304 Pinehurst Road – Vibration Impact ZOI

As a conservative approach for 304 Pinehurst Road, this study will assume a vibration criterion of 3.5 mm/s for a building extremely sensitive to vibration damage per the Federal Transit Authority, as noted in Table 1. The extent of the zone of influence of loaded trucks on uneven ground is listed in Table 3 for the impacts near 304 Pinehurst Road. Loaded Truck Impact levels have been conservatively assumed based on previous Aercoustics measurements of loaded trucks driving on uneven ground.

Table 3 - Extent of Zone of Influence from Point of Operation – 304 Pinehurst Road

| Equipment            | Extent of 3.5 mm/s Zone of Influence |
|----------------------|--------------------------------------|
|                      | Haul Road                            |
| Loaded Truck Impacts | 9.9 m                                |

A site plan indicating the approximate zone of influence for the loaded truck impacts is provided in Appendix B. The yellow, orange, and red lines on the figures represents the extent of the zone of influence given the 3.5 mm/s criteria. There are no operations with a zone of influence extending to include any buildings at 304 Pinehurst Road, and the expected worst-case impact of haul road truck vibration at a building on this property is below 1 mm/s, well below the threshold of 3.5 mm/s.

Additionally, the nearest setback from 304 Pinehurst to the internal haul road is approximately 30 m, whereas the existing nearest setback between the buildings at 304 Pinehurst and the Pinehurst Road roadway is approximately 16 m. Accordingly, the existing vibration impacts associated with truck travel on Pinehurst Road would be expected to generate higher vibration impacts than would be predicted from truck movements on the proposed internal haul road. If the existing influence from truck passes on Pinehurst Road has not caused any notable vibration impact at 304 Pinehurst, traffic from the haul is not expected to pose a vibration issue. As such, vibration monitoring is not recommended for the buildings at 304 Pinehurst Road.

It should nevertheless be ensured that the internal haul road for the proposed pit in the area adjacent to the 304 Pinehurst Road property is well-maintained to avoid any bumps or sudden changes in elevation to keep the vibration impact from the haul road as low as possible.

## 2.4 Surrounding Residential Receptors – Vibration Impact ZOI

This section has been included to provide context regarding the expected worst-case vibration impacts at other dwellings surrounding the proposed Paris Plains Pit.

As shown in Table 2, the largest equipment zone of influence for the most stringent 1 mm/s threshold extends a maximum of 23.2 m from the subject site perimeter. The most significant vibration-producing activities are more than 75 m from the nearest residential building. At setbacks of 60 m or more, the predicted vibration impact is 0.09 mm/s, below the threshold of human perception, and well below the 3.5 mm/s or 5.0 mm/s thresholds that would apply to other sensitive buildings. As such, vibration impacts at all other off-site buildings are expected to be insignificant.

## 3 Vibration Monitoring – Paris Plains Church and School Buildings

Based on these setbacks and the expected operations, no significant vibration impact is expected at any of the nearby receptors.

The church/school buildings were not found to fall within the 1 mm/s zone of influence of any equipment operating at the pit; at a setback of at least 45 – 50 m from the building facades, the worst-case predicted impact from vibration is 0.15 mm/s, associated with construction of a berm.

Nonetheless, Miller Aggregates has agreed to conduct voluntary vibration monitoring during the period of the most intensive vibration-producing activities. Specifically, vibration monitoring during the period of berm construction within 60 m of either of the church/school buildings – as shown in Figure 1 – is proposed.

The following section provides a recommended approach to this voluntary vibration monitoring.

### 3.1 Vibration Monitor Location

As noted, neither the Paris Plains Church nor School building is within the 1 mm/s vibration zone of influence. These buildings are approximately equally set back from the berm area. As such, vibration monitoring at one building is expected to sufficiently represent vibration impacts at the other. A second vibration monitoring location at the other church may be employed if desired and would represent an additional level of conservatism.

The vibration monitoring for the church/school buildings should ideally be conducted inside the structures. The monitor locations should be on foundation or structural points as close to the nearest planned construction activities as reasonably possible. However, if this is not feasible, then the monitors should be located immediately outside of the building structure on the north façade.

Elective vibration monitoring conducted any time that berm construction occurs within 60 m of either church or school building is expected to capture the worst-case vibration impacts across the lifetime of the pit.

### **3.2 Monitoring Sampling Frequency and Transmission Protocol**

At a vibration monitoring location, the vibration level should be measured in units of velocity in each of three mutually perpendicular directions/axes (transverse, lateral, and vertical). The frequency range for the measurement should be up to 100 Hz. This would typically require a minimum vibration measurement sample rate of ~200 Hz.

In coordination with a designated site representative, the berm construction operations during vibration monitoring should be recorded. Vibration levels will be measured at all monitoring locations, and any exceedance of the notification limit will immediately trigger a message or e-mail to be issued to all necessary parties. The notifications will be sent immediately and will be based on real-time data.

Barring any exceedances of the notification monitoring limits, the standard information recorded will be the peak vibration velocity in 15-minute intervals. A report will be created each day summarizing the vibration levels for the day. The daily reports will be packaged and issued on a bi-weekly basis.

If the monitored vibration levels exceed 1 mm/s for the monitor location at any time, the vibration monitor program administrator and the contractor shall determine as soon as possible whether the cause for the exceedance is due to construction activities or other sources. If it is determined that the exceedance is potentially due to construction activities, the contractor should immediately cease all relevant activities until an appropriate course of action or mitigation measures can be implemented to ensure the vibration limits will be satisfied.

### **3.3 Vibration Mitigating Measures**

Potential mitigating measures which could be employed to reduce the level of vibrations for berm construction equipment could include altering the speed or force of the equipment or excavation, thus altering the resulting vibration frequency or level in the zone of influence.

If an exceedance has been determined and mitigating measures must be employed, immediate and careful observation of the resulting vibration levels should be conducted at the time the mitigating measures commence. This will be done to ensure the desired reduction of vibration levels has resulted from the mitigating measures, and that no further mitigating alterations to the construction activities are required.

---

## 4 Conclusion

Aercoustics Engineering Limited (Aercoustics) has been retained by Miller Aggregates to provide acoustical engineering services in support of the Proposed Paris Plains Pit located in Brant, Ontario. This report outlines the findings of the Zone of Influence Study which was carried out to assess the potential vibration impact on nearby structures resulting from proposed construction and operation of the pit.

It was determined through calculation that the vibration zone of influence for equipment associated with the pit, including the internal haul road, will not extend to the nearby Paris Plains Church and School buildings or any other sensitive receptor. The worst-case vibration impacts at the closest sensitive structures were predicted to be well below the applicable criteria.

Nonetheless, Miller Aggregates has agreed to conduct elective vibration monitoring during berm construction as follows:

During berm construction within 60 m of either of the church or school buildings, as shown in Figure 1, a vibration monitoring plan shall be enacted to allow for real-time assessment – and, if warranted, abatement – of the most significant vibration-producing activities against a stringent 1 mm/s criteria.

---

## **Appendix A**

### Zone of Influence Calculations

---



## Zone of Influence

### Project Info

Project **22136.01 - Plains Rd Pit ZOI**  
Date **2023.08.24**  
Author **Ben Phillipson**  
Last Save **2023-11-10 2:07:18 PM**  
Units **meters**

Taken from Section 12.2.1; FTA Transit Noise and Vibration Impact Assessment

$$PPV_{equip} = PPV_{ref} \times (25/D)^{1.5}$$

where: PPV (equip) is the peak particle velocity in in/sec of the equipment adjusted for distance

PPV (ref) is the reference vibration level in in/sec at 25 feet from Table 12-2

D is the distance from the equipment to the receiver.

PPVref @ 7.62m

### Construction Activities

|   |                    | mm/s  |                                  |
|---|--------------------|-------|----------------------------------|
| 1 | Machine Excavation | 1.930 | Assumed equal to Loaded Trucks   |
| 2 | Large Bulldozer    | 2.261 | FTA Table 12-2                   |
| 3 | Grader             | 2.261 | Assumed equal to Large Bulldozer |
| 4 | Loaded Trucks      | 1.930 | FTA Table 12-2                   |

Yes/No

### Additional Information

|   |   |     |   |
|---|---|-----|---|
| 1 | Are there any Heritage Buildings              | No  |   |
| 2 | Is activity below Water Table                 | No  |   |
| 3 | Are there any Sensitive Buildings/Structures  | Yes | Note: Monitoring may be required for this structure |
| 4 | Any other reason to use more sensitive limits | No  |   |

### Zone of Influence

|   | Distance (D)       | PPV <sub>equip</sub> |      |
|---|--------------------|----------------------|------|
|   | m                  | mm/s                 |      |
| 1 | Machine Excavation | 11.8                 | 1.00 |
| 2 | Large Bulldozer    | 13.1                 | 1.00 |
| 3 | Grader             | 13.1                 | 1.00 |
| 4 | Loaded Trucks      | 11.8                 | 1.00 |

### References

- 1 US DOT FTA Transit Noise and Vibration Impact Assessment, May '06
- 2 C. Dowding, "Construction Vibrations", 2000



## Zone of Influence

### Project Info

Project **22136.01 - Plains Rd Pit ZOI**  
Date **2023.08.24**  
Author **Ben Phillipson**  
Last Save **2023-11-10 2:07:18 PM**  
Units **meters**

Taken from Section 12.2.1; FTA Transit Noise and Vibration Impact Assessment

$$PPV_{equip} = PPV_{ref} \times (25/D)^{1.5}$$

where: PPV (equip) is the peak particle velocity in in/sec of the equipment adjusted for distance

PPV (ref) is the reference vibration level in in/sec at 25 feet from Table 12-2

D is the distance from the equipment to the receiver.

### Haul Route

PPVref @ 7.62m

### Construction Activities

|                      | mm/s  |  |
|----------------------|-------|--|
| 1 Portable Crusher   | 5.334 | <b>Assumed equal to Vibratory Roller</b> |
| 2 Machine Excavation | 1.930 | Assumed equal to Loaded Trucks           |
| 3 Extraction Loader  | 2.261 | Assumed equal to Large Bulldozer         |
| 4 Loaded Trucks      | 1.930 | FTA Table 12-2                           |

Yes/No

### Additional Information

|   |     |   |
|---|-----|---|
| 1 Are there any Heritage Buildings              | Yes | Note: Monitoring may be required for this structure |
| 2 Is activity below Water Table                 | No  |   |
| 3 Are there any Sensitive Buildings/Structures  | Yes | Note: Monitoring may be required for this structure |
| 4 Any other reason to use more sensitive limits | Yes | Values lower than 5mm/s recommended                 |

### Zone of Influence

|                      | Distance (D) | PPV <sub>equip</sub> |
|----------------------|--------------|----------------------|
|                      | m            | mm/s                 |
| 1 Portable Crusher   | <b>23.2</b>  | 1.00                 |
| 2 Machine Excavation | <b>11.8</b>  | 1.00                 |
| 3 Extraction Loader  | <b>13.1</b>  | 1.00                 |
| 4 Loaded Trucks      | <b>11.8</b>  | 1.00                 |

### References

- 1 US DOT FTA Transit Noise and Vibration Impact Assessment, May '06
- 2 C. Dowding, "Construction Vibrations", 2000



## Zone of Influence

### Project Info

Project **22136.01 - Plains Rd Pit ZOI**  
Date **2023.08.24**  
Author **Ben Phillipson**  
Last Save **2023-11-10 2:07:18 PM**  
Units **meters**

Haul Route

Taken from Section 12.2.1; FTA Transit Noise and Vibration Impact Assessment  
 $PPV_{equip} = PPV_{ref} \times (25/D)^{1.5}$   
where:  $PPV$  (equip) is the peak particle velocity in in/sec of the equipment adjusted for distance  
 $PPV$  (ref) is the reference vibration level in in/sec at 25 feet from Table 12-2  
D is the distance from the equipment to the receiver.

PPVref @ 7.62m  
mm/s

### Construction Activities

|                        | 1 Loaded Truck Impact  | 5.200                   | Aercoustics Measurement   |
|------------------------|--|-------------------------|---|
| Yes/No                 |  |                         |   |
| Additional Information | 1 Are there any Heritage Buildings<br>2 Is activity below Water Table<br>3 Are there any Sensitive Buildings/Structures<br>4 Any other reason to use more sensitive limits | Yes<br>No<br>Yes<br>Yes | Note: Monitoring may be required for this structure<br>Note: Monitoring may be required for this structure<br>Values lower than 5mm/s recommended |
| Zone of Influence      | 1 Loaded Truck Impact  | 9.9                     | 3.50  |

### References

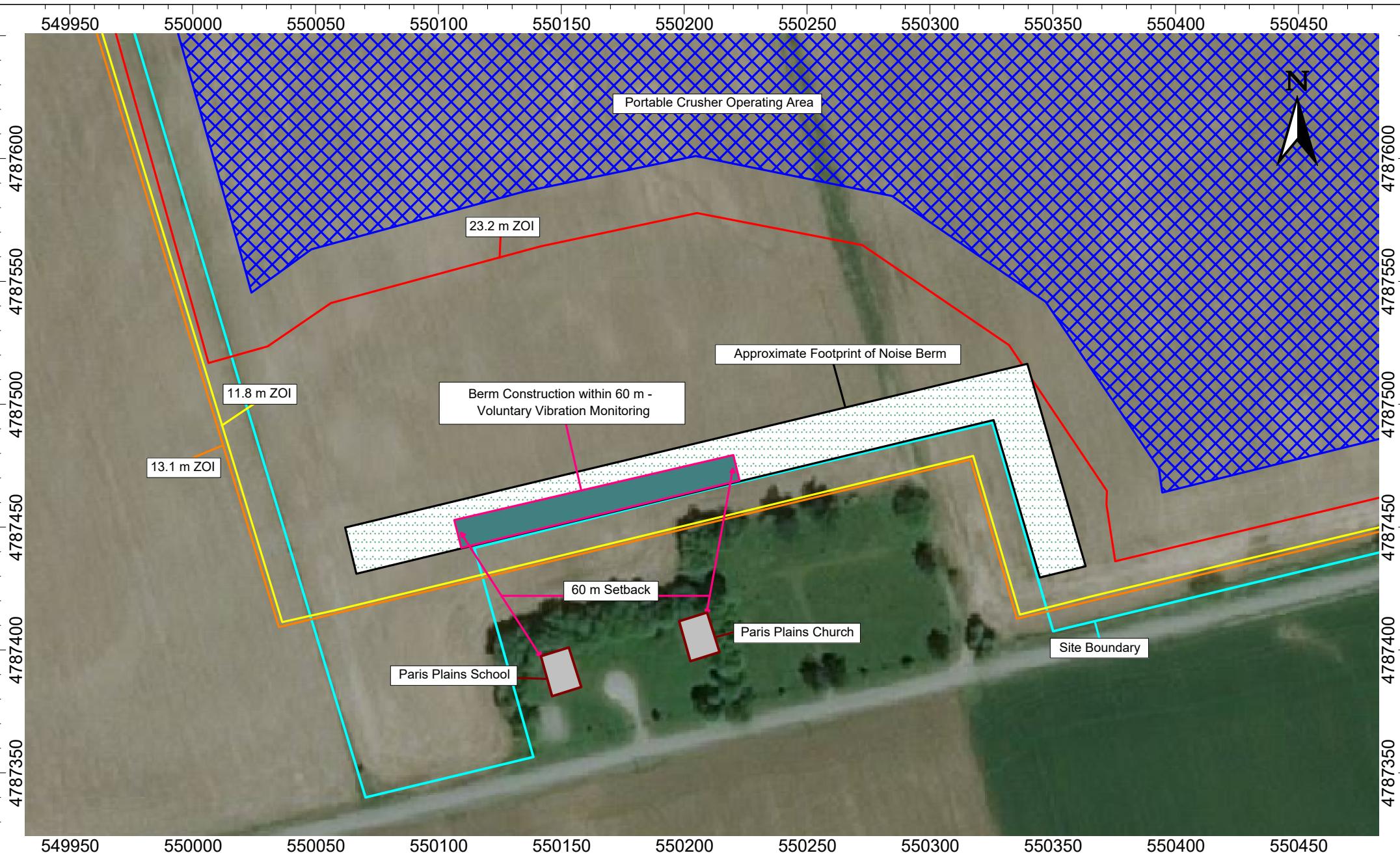
- 1 US DOT FTA Transit Noise and Vibration Impact Assessment, May '06
- 2 C. Dowding, "Construction Vibrations", 2000

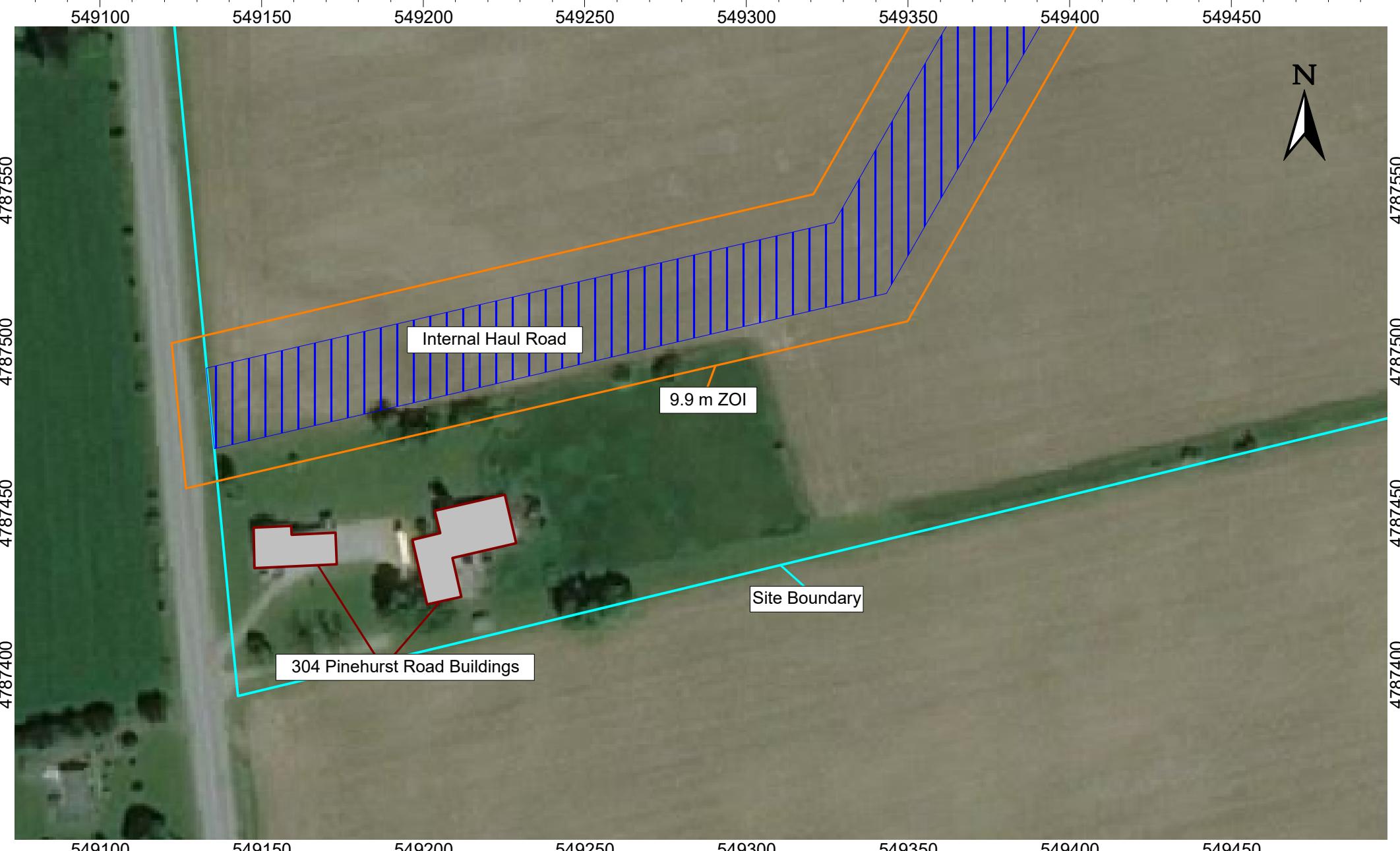
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## **Appendix B**

### Zone of Influence Maps

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|  |   |                      |                 |
|--|---|----------------------|-----------------|
|  aercoustics | Project ID: 22136.02  | Project Name         | <b>Figure 2</b> |
|  | Scale: As Indicated<br>Drawn by: BP<br>Reviewed by: KC<br>Date: Nov 20, 2023<br>Revision: 1 | Paris Plains Pit ZOI |                 |

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## **Appendix C**

### Qualifications of the Authors

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## Kohl Clark, B.Eng., P.Eng.

Senior Project Manager

### Profile

Kohl holds a Bachelor of Engineering in Mechanical Engineering from McMaster University. As an Acoustical Engineer at Aercoustics Engineering Ltd., Kohl brings experience tackling projects in a variety of industries, including architectural design, residential, environmental and transit. Kohl is a Professional Engineer with Professional Engineers Ontario.

### Education & Experience

- Bachelor of Engineering, Mechanical Engineering, McMaster University, June 2016
- Acoustical Engineer, Aercoustics Engineering Ltd. August 2016 to present

### Relevant Project Experience

Aggregate site modelling and design experience includes:

|                      |                       |
|----------------------|-----------------------|
| Law Quarry Extension | Wainfleet ON          |
| Wallace Pit          | Thamesford, ON        |
| Robinson Pit         | Central Frontenac, ON |
| Cunningham Pit       | Ottawa, ON            |
| Greely Quarry        | Ottawa, ON            |
| Lichty Pit           | Various, ON           |
| Bury Road Quarry     | Bruce Peninsula, ON   |

Aggregate site review and audit experience includes:

|                        |                    |
|------------------------|--------------------|
| Vinemount Quarries     | Stoney Creek, ON   |
| Brown Pit              | North Dumfries, ON |
| Hennig Pit             | North Dumfries, ON |
| Dance & Dabrowski Pits | North Dumfries, ON |
| Melancthon Pit         | Melancthon, ON     |

Other relevant industrial noise modelling and assessment experience includes:

|                                      |               |
|--------------------------------------|---------------|
| D. Crupi and Sons Ltd. Asphalt Plant | Oshawa, ON    |
| Hamilton Wastewater Treatment Plant  | Hamilton, ON  |
| Lafarge Bath Cement Plant            | Bath, ON      |
| PureGold Mine                        | Madsen, ON    |
| Cochenour Mine                       | Cochenour, ON |
| Red Lake Gold Mine                   | Red Lake, ON  |

## Ben Phillipson B.A.Sc., E.I.T., Senior Designer

### Education

Queen's University, B.A.Sc.,  
Engineering Physics, 2019

### Professional Affiliations

Prospective Member of  
Professional Engineers of  
Ontario  
PEO#100547424

Ben Phillipson joined Aercoustics Engineering Limited in 2020. Mr. Phillipson is an Engineer in Training to become a professional engineer in Ontario. Ben has a background in Engineering Physics with an electrical specialization and has worked on a broad variety of projects across multiple different sectors. Ben has developed a keen interest in cities and urban planning, and as such is passionate about working with existing and planned mass transit systems.

### Noise & Vibration Modelling and Monitoring Experience

Ben has supported the **Scarborough Subway Extension Advance Tunnel** project, delivering on construction-specific sections of Schedule 17, including noise and vibration monitoring and mitigation design, weekly reporting, zone of influence studies for the tunnel boring machine and other aspects of construction, and working on the Noise and Vibration Management Plan for the project.

Ben has been a key staff member in supporting noise and vibration monitoring for the **Finch West LRT** project, including monitoring and weekly reporting and monitor deployments, maintenance, and relocation.

Ben is also supporting the **Ontario Line Rolling Stock, Systems, Operations and Maintenance** project, coordinating with the client to manage monitor deployments, and overseeing weekly monitoring reporting for the project.

### Additional Noise and Vibration Project Experience

- Environmental Noise & Vibration Assessments and Zone of Influence studies for numerous residential developments and industrial facilities across Ontario, including condos, quarries, factories, warehouses, and a variety of other facilities.
- Interior and exterior acoustics design work for residential developments and institutional buildings including universities, hospitals, art galleries, and offices.
- Construction noise and vibration monitoring for developments and institutional buildings carrying out construction or in proximity to nearby construction activities, including heritage properties.

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**End of Report**

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